

**MANASQUAN PLANNING BOARD MEETING AGENDA  
CONDUCTED WITH ZOOM  
NOVEMBER 16, 2021 4:00 PM – TUESDAY**

**Join Zoom Meeting**

<https://zoom.us/j/2610095007?pwd=d01aMVlrY0hINVFGd25RcGpyZS83QT09>

**OR**

**Tel – 1-646 876 9923 US (New York)**

**ID # 261 009 5007**

**Password 281 797**

Please take notice that the Manasquan Planning Board will convene a remote meeting on November 16, 2021 4:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

**PUBLIC MEETING**

Salute to the Flag

Roll Call

Sunshine Law Announcement

**OLD/NEW BUSINESS**

**APPLICATION**

1. #35-2021 Cinfio, Janet & Scott - 336 First /337 Beachfront - Block 185 Lot 14 (carried from 8/17/2021)
2. #45-2021 Haskell, Michael - 394 First/395 Beachfront - Block 187 Lot 9 (carried from 10/5/2021)

**OTHER BUSINESS**

Comments from individual board members

**ADJOURNMENT**

June 30, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14  
337 Beachfront/336 First Avenue  
R-4 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plot Plan prepared by Charles Lindstrom, P.E. of Lindstrom, Diessner & Carr, P.C., dated December 31, 2020., last revised June 3, 2021
2. Architectural Floorplans and Elevations prepared by Jeff Schneider, RA, dated May 20, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to demolish both existing dwellings and construct a raised two story garage dwelling on First Avenue, a two and one half story dwelling on the beachfront, and associated site improvements. This application is deemed complete as of June 30, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:

*Lot 14*

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 46.4% is proposed (45.4% exists).
- b. A minimum building separation of 35 feet is required, whereas a separation of approximately 22 feet is proposed.

Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14

June 30, 2021  
Sheet 2

- c. Standby generators are prohibited in any side yard, whereas the proposed generator is located in the northern side yard.
- d. A maximum driveway width of 20 feet is permitted, whereas a driveway width of approximately 22 feet is proposed.

*Beachfront Dwelling (337 Beachfront)*

- e. A minimum front yard setback of 15 feet is required, whereas a setback of 10.7 feet is proposed to the deck (15.7 feet exists).
- f. A maximum dormer length of 10 feet is permitted, whereas a dormer length of 20 feet is proposed for the stairwell dormer.

*First Avenue Dwelling (336 First Avenue)*

- g. A minimum front yard setback of 10 feet is required, whereas a setback of 8.7 feet is proposed (0.8 feet exists).
3. The base flood elevation for the property is 14 (Zone VE). The finish first floor of the First Avenue dwelling is proposed at elevation 14.68 and the beachfront dwelling at elevation 16.50.
  4. The air conditioning units and generator are proposed to be located on a raised platform on the north side of the First Avenue dwelling at elevation 16.50.
  5. The applicant should confirm that the required 80 square feet of storage space is proposed in the First Avenue garage.
  6. Four conforming parking spaces are provided within the First Avenue garage.
  7. A dedicated walkway to the beachfront is proposed as required.
  8. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the property is located within the R-4 beachfront zone, however the applicant does propose a recharge system connected to a bubbler inlet near the sidewalk.
  9. Construction details for the proposed retaining walls, concrete apron, and pavers should be provided on the plans.
  10. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
  11. Any new utilities should be located underground if possible. The two dwellings are proposed to be serviced by separate water and sewer lines.
  12. Any curb and sidewalk must be replaced along First Avenue as necessary.



Re: Boro File No. MSPB-R1610  
Variance – Cinfo  
Block 185, Lot 14

June 30, 2021  
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Albert Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
C. Keith Henderson, esq.  
52 Abe Voorhees Drive, Manasquan, NJ 08736  
Charles Lindstrom, P.E.  
Lindstrom, Diessner & Carr, 136 Drum Point Road, Suite 6, Brick, NJ 08723

June 30, 2021  
Revised: September 14, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14  
337 Beachfront/336 First Avenue  
R-4 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plot Plan prepared by Charles Lindstrom, P.E. of Lindstrom, Diessner & Carr, P.C., dated December 31, 2020., last revised August 31, 2021
2. Architectural Floorplans and Elevations prepared by Jeff Schneider, RA, dated August 31, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to demolish both existing dwellings and construct a raised two story garage dwelling on First Avenue, a two and one half story dwelling on the beachfront, and associated site improvements. This application was previously deemed complete on of June 30, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:

*Lot 14*

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 46.4% is proposed (45.4% exists).
- b. A maximum lot coverage of 50% is permitted, whereas a lot coverage of 51.1% is proposed.

Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14

September 14, 2021  
Sheet 2

- c. A minimum building separation of 35 feet is required, whereas a separation of 18.7 feet is proposed.

*Beachfront Dwelling (337 Beachfront)*

- d. A minimum front yard setback of 15 feet is required, whereas a setback of 10.7 feet is proposed to the deck (15.7 feet exists).
- e. A maximum dormer length of 10 feet is permitted, whereas a dormer length of 19 feet 4 inches is proposed for the stairwell dormer.

*First Avenue Dwelling (336 First Avenue)*

- f. A minimum front yard setback of 10 feet is required, whereas a setback of 8.7 feet is proposed (0.8 feet exists).

3. The following non-conformities exist on Lot 14 and are not proposed to be modified as part of this application:
  - a. A maximum driveway curb cut width of 20 feet is permitted, whereas a curb cut of approximately 20.4 feet exists.
4. The base flood elevation for the property is 14 (Zone VE). The finish first floor of the First Avenue dwelling is proposed at elevation 16.48 and the beachfront dwelling at elevation 16.50.
5. The air conditioning units and generator are proposed to be located on a raised platform and have been relocated to the south side of the First Avenue dwelling at elevation 16.50. All mechanicals are located within the building envelope and are outside of the required 5 foot setback.
6. The applicant should confirm that the required 80 square feet of storage space is proposed in the First Avenue garage.
7. Four conforming parking spaces are provided within the First Avenue garage.
8. A dedicated walkway to the beachfront is proposed as required.
9. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the property is located within the R-4 beachfront zone, however the applicant does propose a recharge system connected to a bubbler inlet near the sidewalk.
10. Construction details for the proposed retaining walls, concrete apron, and pavers should be provided on the plans.
11. A landscaping plan for the property must be provided. No trees will be removed as part of this application.



Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14

September 14, 2021  
Sheet 3

12. Any new utilities should be located underground if possible. The two dwellings are proposed to be serviced by separate water and sewer lines.
13. Any curb and sidewalk must be replaced along First Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
C. Keith Henderson, esq.  
52 Abe Voorhees Drive, Manasquan, NJ 08736  
Charles Lindstrom, P.E.  
Lindstrom, Diessner & Carr, 136 Drum Point Road, Suite 6, Brick, NJ 08723

November 10, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14  
337 Beachfront/336 First Avenue  
R-4 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plot Plan prepared by Charles Lindstrom, P.E. of Lindstrom, Diessner & Carr, P.C., dated December 31, 2020., last revised October 18, 2021
2. Architectural Floorplans and Elevations prepared by Jeff Schneider, RA, dated October 22, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to demolish both existing dwellings and construct a raised two story garage dwelling on First Avenue, a two and one half story dwelling on the beachfront, and associated site improvements. This application was previously deemed complete on of June 30, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:

*Lot 14*

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 39.9% is proposed (45.4% exists).





Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14

November 10, 2021  
Sheet 2

- b. A minimum building separation of 35 feet is required, whereas a separation of approximately 30 feet is proposed. It should be noted that the above ground building separation is 35.8 feet.
- c. Four parking spaces are required, whereas 2 conforming parking spaces are provided in the First Avenue garage building. Two undersized spaces, approximately 15.5 feet long are available outside the cartway of First Avenue, but they are partially located within the right-of-way.

*Beachfront Dwelling (337 Beachfront)*

- d. A minimum front yard setback of 15 feet is required, whereas a setback of 10.7 feet is proposed to the deck (15.7 feet exists).
- e. A maximum dormer length of 10 feet is permitted, whereas a dormer length of 18 feet 10 inches is proposed for the stairwell dormer.

*First Avenue Dwelling (336 First Avenue)*

- f. A minimum front yard setback of 10 feet is required, whereas a setback of 6 feet is proposed (0.8 feet exists).
3. The applicant proposes to reconstruct the existing curb to provide a conforming 20 feet wide curb cut.
  4. The base flood elevation for the property is 14 (Zone VE). The finish first floor of the First Avenue dwelling is proposed at elevation 16.48 and the beachfront dwelling at elevation 16.50.
  5. The air conditioning units and generator are proposed to be located on a raised platform and have been relocated to the south side of the First Avenue dwelling at elevation 16.50. All mechanicals are located behind the building envelope and are outside of the required 5 feet setback.
  6. The applicant should confirm that the required 80 square feet of storage space is proposed in the First Avenue garage.
  7. A dedicated walkway to the beachfront is proposed as required.
  8. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the property is located within the R-4 beachfront zone, however the applicant does propose a recharge system connected to a bubbler inlet near the sidewalk.
  9. Construction details for the proposed retaining walls, concrete apron, and pavers should be provided on the plans.



Re: Boro File No. MSPB-R1610  
Variance – Cinfio  
Block 185, Lot 14

November 10, 2021  
Sheet 3

10. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
11. Any new utilities should be located underground if possible. The two dwellings are proposed to be serviced by separate water and sewer lines.
12. Any curb and sidewalk must be replaced along First Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read "Albert Yodakis", written over a horizontal line.

ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
C. Keith Henderson, esq.  
52 Abe Voorhees Drive, Manasquan, NJ 08736  
Charles Lindstrom, P.E.  
Lindstrom, Diessner & Carr, 136 Drum Point Road, Suite 6, Brick, NJ 08723

**PLANNING BOARD APPLICATION  
MANASQUAN, NEW JERSEY**

**I. APPLICANT:** Janet & Scott Cinfio, NJDMDC, LLC

Address: 217 Horseback Hollow, Austin, TX 78732

Phone: 650-224-1759

**Property Address:** 337 Beachfront/336 First Ave  
Block 185, Lot 14, Zone R-4  
Flood Zone: VE BFE: 14 ft DFE: 15 ft  
Manasquan, New Jersey 08736

**II. TYPE OF APPLICATION:** Bulk Variances  
Section 35-9.4

SITE			
	REQUIRED	EXISTING	PROPOSED
Area of Lot	4,200 s.f.	4,481 s.f.	4,481 s.f.
Percentage of Lot Coverage (Building)	35%	45.4%*	46.4%**
Percentage of Lot Coverage (Imp)	50%	73.8%	50%
Lot Frontage	30 ft.	32 ft	32 ft.
<b>337 BEACHFRONT</b>			
Front Yard Setback	15 ft	15.7 ft	15.8 ft to dwelling; 10.7 ft to the deck* *
Side Setback (N)	5ft	2.8 ft*	5 ft
Side Setback (S)	5ft	4.6 ft*	5.1 ft
Rear Setback	15 ft	78.1 ft	67.5 ft
Building Height-Stories	33 ft. 2.5 stories	19.07 ft 1.5 stories	32.58 ft 2.5 stories
<b>336 FIRST AVE</b>			
Front Yard Setback	10 ft	0.8 ft	8.7 ft**
Side Setback (N)	5ft	8.7 ft	5.2 ft
Side Setback (S)	5ft	3.7 ft*	5.0 ft
Rear Setback	15 ft	98.1 ft	91.2 ft
Building Height-Stories	32 ft 2 stories	21.77 ft 1.5	31.79 ft 2

Previously approved existing Non-Conformity \*  
Variance Requested \*\*

**Section 35-9.4-** Dormer Length—10 ft permitted; 20 ft. proposed.

**Section 35-11.8i-** Prohibits locating standby generator in the side yard.

**Section 35-7.7-** Driveway Width—20 ft permitted; 22 ft. proposed.

**III. SITE INFORMATION:**

Street Address: 336 First Ave/337 Beachfront

Block 185, Lot 14

Zoning Districts: R-4

Present Use: Two Single Family Residential Dwellings

Proposed Use: Two Single Family Residential Dwellings

**VI. ZONE REQUIREMENTS: R-4 Zone**

Min. Lot Area: 4,200 SF

Min Lot Frontage: 30 ft

Front Yard Setback: 15/10 ft

Side Setback: 5ft

Rear Setback: 15 ft

Max. Bldg. Height: 35 ft (33 ft for non-conforming lot)

Max Stories: 2 ½

Max. Bldg. Coverage: 35%

Max. Lot Coverage: 50%

**V. MISCELLANEOUS:**

1. Is the Applicant the Landowner? Yes
2. Does the Applicant own any adjoining land? No
3. Are the property taxes paid to date? Yes

- 4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? No.
- 5. Are there any deed restrictions, easements or covenants affecting the property?

**VI. COMMENT:**

Applicant seeks to remove all the existing buildings and structures on the property and construct a new single family dwelling fronting on the Beachfront and a new garage apartment fronting on First Avenue.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

6/18/21  
Date

  
\_\_\_\_\_  
MICHAEL D. HENDERSON, ESQ  
Attorney for Applicant

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

May 27, 2021

Keith Henderson, Esq.  
52 Abe Voorhees Drive  
PO Box 260  
Manasquan, NJ 08736

Re: Block: 185 Lot: 14 Zone: R-4 Flood Zone: VE BFE: 14ft. DFE: 15ft.  
Cinfio – 337 Beachfront, 336 First Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new single family dwelling fronting on the beachfront and a new garage apartment fronting on First Avenue.

Plot plan prepared by Charles Lindstrom on December 31, 2020. Conceptual building plans prepared by Jeff Schneider on May 20, 2021.

**Application denied for the following reason(s):**

**Lot:**

Section 35-9.4 – Building Coverage – 35% Permitted  
46.4% Proposed

**337 Beachfront:**

Section 35-9.4 – Front Setback – 15ft Required  
10.7ft Proposed

“ - Dormer Length – 10ft Permitted  
20ft. Proposed

336 First Avenue:

Section 35-9.4 – Front Setback – 10ft. Required  
8.7ft. Proposed

Section 35-11.8i – Prohibits locating a standby generator in the side yard.

Section 35-7.7 – Driveway Width – 20ft. Permitted  
22ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer

BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT  
BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

732-223-0544  
Fax 732-223-1300

FRANK F. DiROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

June 15, 2021

Keith Henderson, Esq.  
52 Abe Voorhees Drive  
PO Box 260  
Manasquan, NJ 08736

Re: Block: 185 Lot: 14 Zone: R-4 Flood Zone: VE BFE: 14ft. DFE: 15ft.  
Cinffio – 337 Beachfront, 336 First Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new single family dwelling fronting on the beachfront and a new garage apartment fronting on First Avenue.

Plot plan prepared by Charles Lindstrom on December 31, 2020. Conceptual building plans prepared by Jeff Schneider on May 20, 2021.

**Application denied for the following reason(s):**

**Lot:**

Section 35-9.4 – Building Coverage – 35% Permitted  
46.4% Proposed

**337 Beachfront:**

Section 35-9.4 – Front Setback – 15ft Required  
10.7ft Proposed

“ - Dormer Length – 10ft Permitted  
20ft. Proposed



“ - Half Story – 60% Permitted  
64% Proposed

**336 First Avenue:**

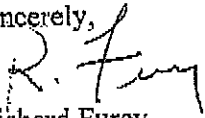
Section 35-9.4 – Front Setback – 10ft. Required  
8.7ft. Proposed

Section 35-11.8i – Prohibits locating a standby generator in the side yard.

Section 35-7.7 – Driveway Width – 20ft. Permitted  
22ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer

BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736



732-223-0544  
Fax 732-223-1

Item 1.

FRANK F. DiROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

June 16, 2021

Keith Henderson, Esq.  
52 Abe Voorhees Drive  
PO Box 260  
Manasquan, NJ 08736

Re: Block: 185 Lot: 14 Zone: R-4 Flood Zone: VE BFE: 14ft. DFE: 15ft.  
Cinfio – 337 Beachfront, 336 First Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the existing buildings and structures on the property and construct a new single family dwelling fronting on the beachfront and a new garage apartment fronting on First Avenue.

Plot plan prepared by Charles Lindstrom on December 31, 2020. Conceptual building plans prepared by Jeff Schneider on May 20, 2021.

**Application denied for the following reason(s):**

**Lot:**

Section 35-9.4 – Building Coverage – 35% Permitted  
46.4% Proposed

**337 Beachfront:**

Section 35-9.4 – Front Setback – 15ft Required  
10.7ft Proposed

“ - Dormer Length – 10ft Permitted  
20ft. Proposed

**336 First Avenue:**

Section 35-9.4 – Front Setback – 10ft. Required  
8.7ft. Proposed

Section 35-11.8i – Prohibits locating a standby generator in the side yard.

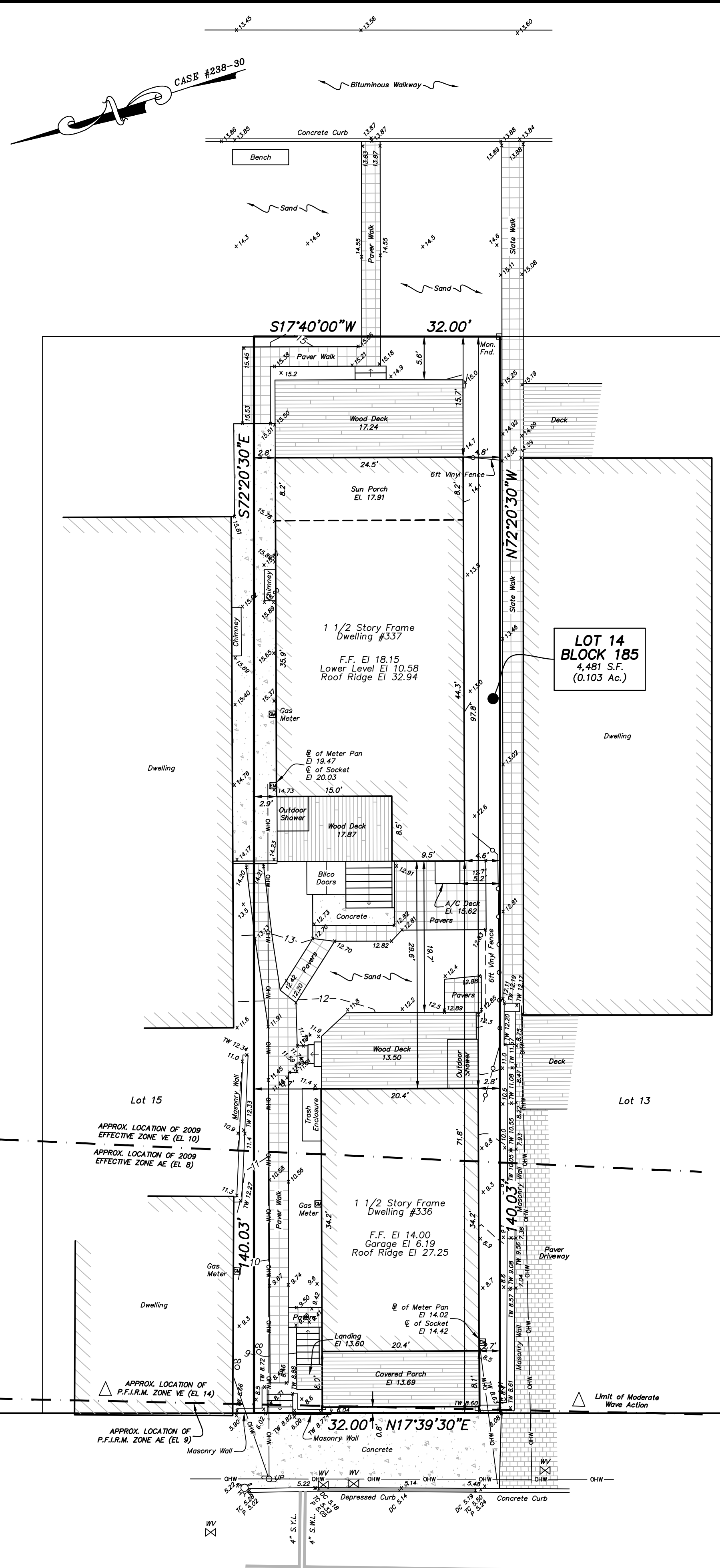
Section 35-7.7 – Driveway Width – 20ft. Permitted  
22ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

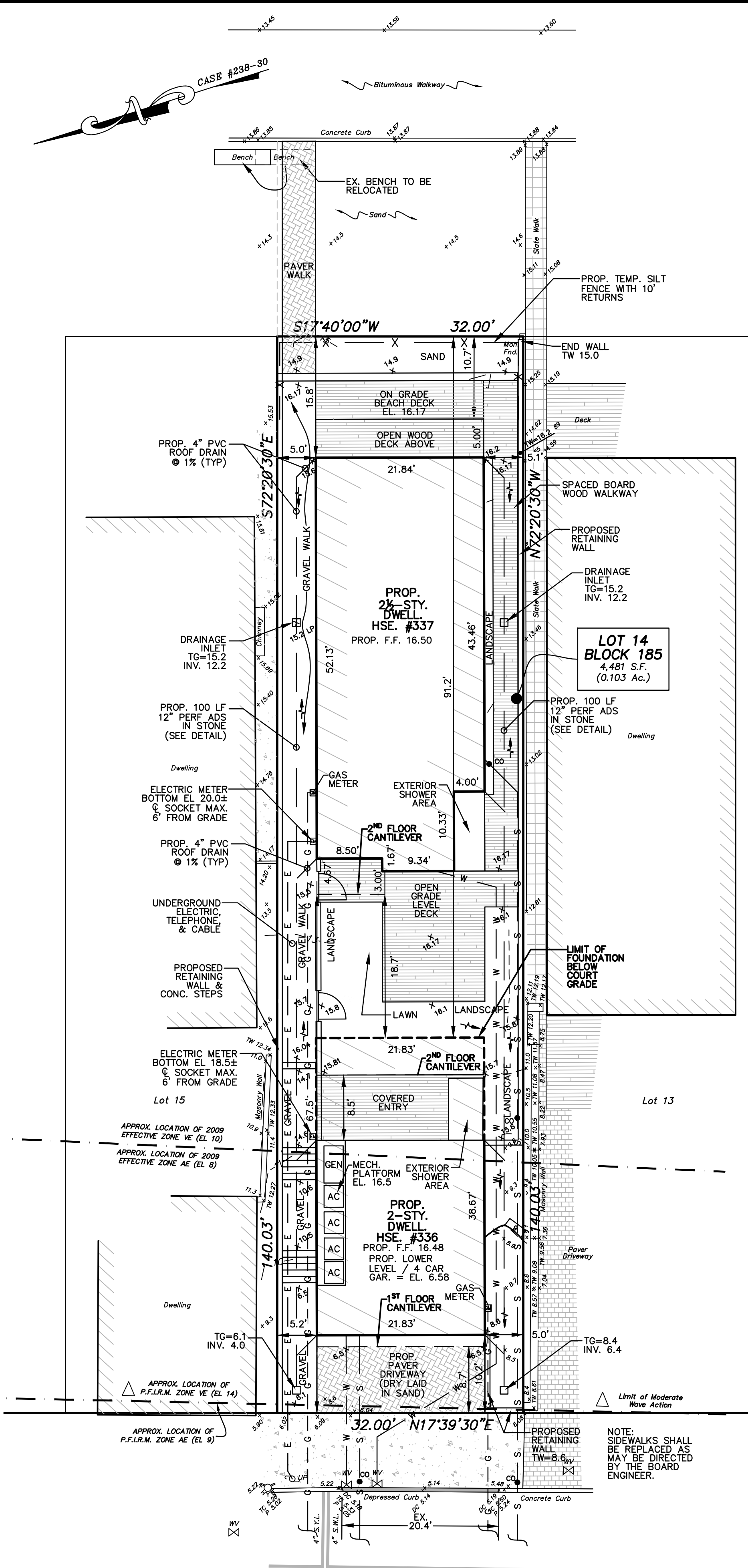
Sincerely,



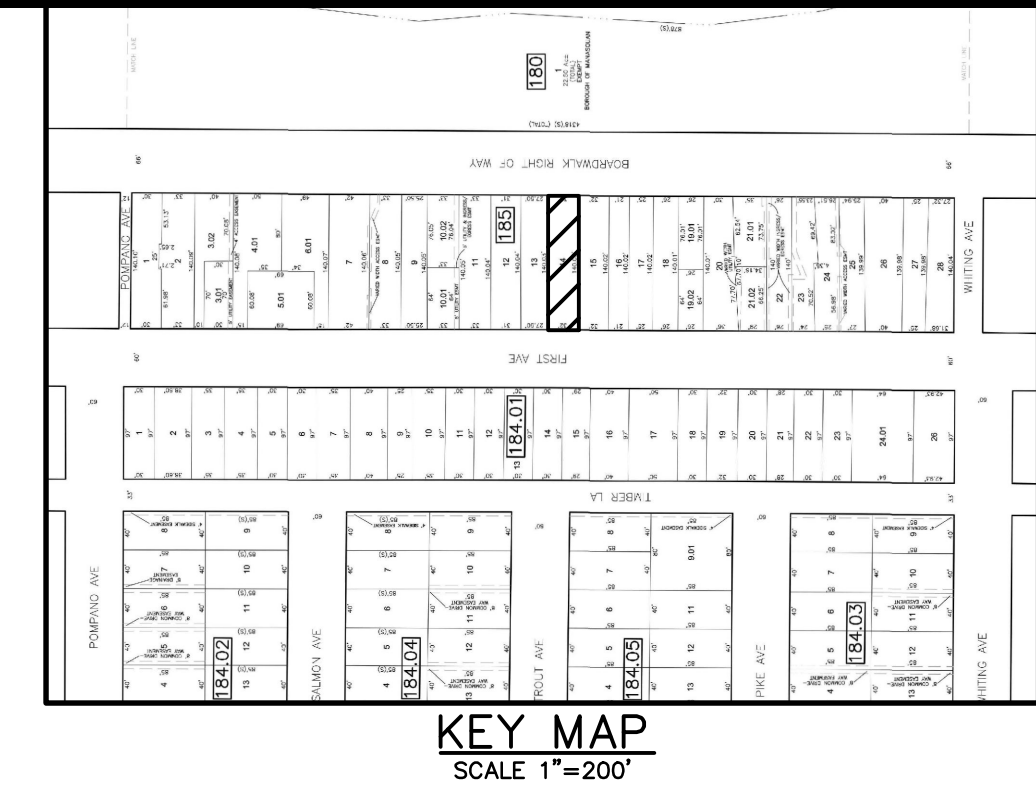
Richard Furey  
Zoning/Code Enforcement Officer



**EXISTING CONDITIONS PLAN**  
SCALE 1"=10'



**PROPOSED DEVELOPMENT PLAN**  
SCALE 1"=10'



- GENERAL NOTES:**
- SURVEY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY LOT 14 BLOCK 185 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY." PREPARED BY LINDSTROM, DIESSNER AND CARR P.C. DATED 7/20/2020. WILLIAM H. DOOLITTLE P.L.S. FOR JANET & SCOTT CINFIO.
  - ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
  - PROPERTY LOCATED IN FLOOD ZONES AE (EL 8) & VE (EL 10). COMMUNITY NUMBER 345303 MAP NUMBER 34025004567, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONES AE (EL 9) & VE (EL 14) LIMWA, BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
  - UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION.
  - FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
  - THERE ARE NO WETLANDS ON SITE.
  - THERE IS NO BELOW GRADE BASEMENT PROPOSED.
  - A FLOOR WITH A FLOOR THAT IS NOT 1 FOOT ABOVE THE BFE IS NOT PERMITTED.
  - ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
  - ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND EACH DWELLING SHALL HAVE SEPARATE UTILITIES.

**OWNER/APPLICANT:**  
JANET & SCOTT CINFIO  
NJDMDC, LLC  
217 HORSEBACK HOLLOW  
AUSTIN, TX 78732

PROPERTY IS LOCATED IN THE R-4 DISTRICT

FIRST AVENUE HOUSE #336			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	10 FT.	0.8 FT.**	8.7 FT.**
SIDE SETBACK NORTH	5 FT.	8.7 FT.**	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	3.7 FT.**	5.0 FT.
REAR SETBACK	15 FT.	97.8 FT.	91.2 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT <sup>(1)</sup>	33 FT.	21.77 FT.	31.79 FT.
			2 Sty

VARIANCE REQUESTED FOR STANDBY GENERATOR IN SIDE YARD (SECT. 35-11.8)

PROPERTY IS LOCATED IN THE R-4 DISTRICT

TOTAL LOT ZONING CRITERIA			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	4,200 S.F.	4,481 S.F.	4,481 S.F.
LOT FRONTAGE	30 FT.	32.0 FT.	32.0 FT.
LOT WIDTH	30 FT.	32.0 FT.	32.0 FT.
BUILDING COVERAGE	35%	45.4%*	46.4%*
LOT COVERAGE	50%	73.8%*	50.0%

\* EXISTING NON-CONFORMING  
\*\* VARIANCE REQUESTED

VARIANCE REQUESTED FOR DRIVEWAY CURB CUT (SECT 35-7.7c)  
REQUIRED 20 FEET MAX - EXISTING 20.4 FT. AT CURB LINE \*\*  
DRIVEWAY WIDTH 22' PROP. \*\*

PROPERTY IS LOCATED IN THE R-4 DISTRICT

OCEAN FRONT HOUSE #337			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	15 FT.	15.7 FT.	15.8 FT. DWELL; 10.7 FT. DECK**
SIDE SETBACK NORTH	5 FT.	2.8 FT.**	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	4.6 FT.	5.1 FT.
REAR SETBACK	15 FT.	71.8 FT.	67.5 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT <sup>(2)</sup>	33 FT.	19.07 FT.	32.58 FT.
			2 1/2 Sty.

\* EXISTING NON-CONFORMING  
\*\* VARIANCE REQUESTED

(1) MEASURED FROM TC OF FIRST AVENUE 5.48  
(2) MEASURED FROM TC 13.87 AT THE BOARDWALK

- LEGEND:**
- 47- EXISTING CONTOUR
  - 48- PROPOSED CONTOUR
  - 49- EXISTING SPOT GRADE
  - 50- PROPOSED SPOT GRADE
  - 51- EXISTING INLET
  - 52- PROPOSED INLET
  - 53- EXISTING FIRE HYDRANT
  - 54- PROPOSED FIRE HYDRANT
  - 55- EXISTING M.H.
  - 56- PROPOSED M.H.
  - 57- EXISTING UTILITY POLE
  - 58- PROPOSED UTILITY POLE
  - 59- SOIL BORING LOCATION
  - 60- EXISTING VALVE
  - 61- PROPOSED VALVE
  - 62- EXISTING WOODS LINE
  - 63- PROPOSED WOODS LINE
  - 64- TOP OF BLOCK

**REFERENCES USED:**  
- FILED MAP, CASE #238-30  
- DEED BOOK 9358, PAGE 2093

**PROPERTY DESCRIPTION:**  
BEING KNOWN AS LOT 14 IN BLOCK 185 AS SHOWN ON A MAP ENTITLED "FINAL MAP OF BLOCK 185, LANDS OF AMERICAN TIMBER COMPANY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J." FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON NOVEMBER 9, 1990 AS MAP CASE #238-30.

ALSO BEING KNOWN AS LOT 14 IN BLOCK 185 ON THE OFFICIAL TAX MAP SHEET 31 OF BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

2	6/3/21	REVISED PER ZONING OFFICER DENIAL LETTER 5/27/21	JAR
1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR
NO.	DATE	REVISION DESCRIPTION	BY

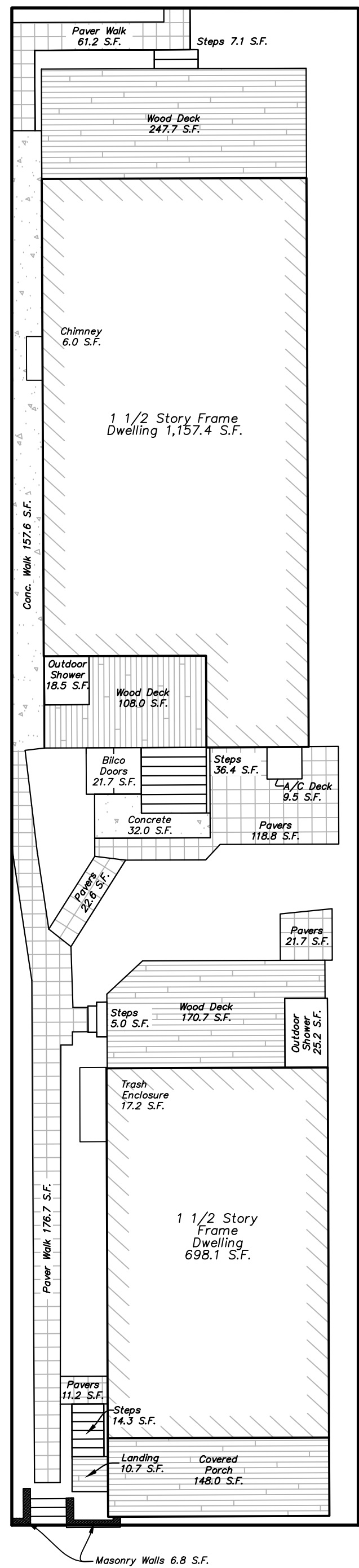
**Lindstrom, Diessner & Carr, P.C.**  
ENGINEERING ♦ SURVEYING ♦ PLANNING  
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-9026

**PLOT PLAN**  
LOT 14 BLOCK 185

BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY

CHARLES E. LINDSTROM  
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602473900  
PROFESSIONAL PLANNER N.J. LIC. NO. 33100233300

DRAWN BY: JAR  
SCALE: 1"=20'  
DATE: 12/31/2020  
SHEET: 1 OF 2  
PROJECT: 20075



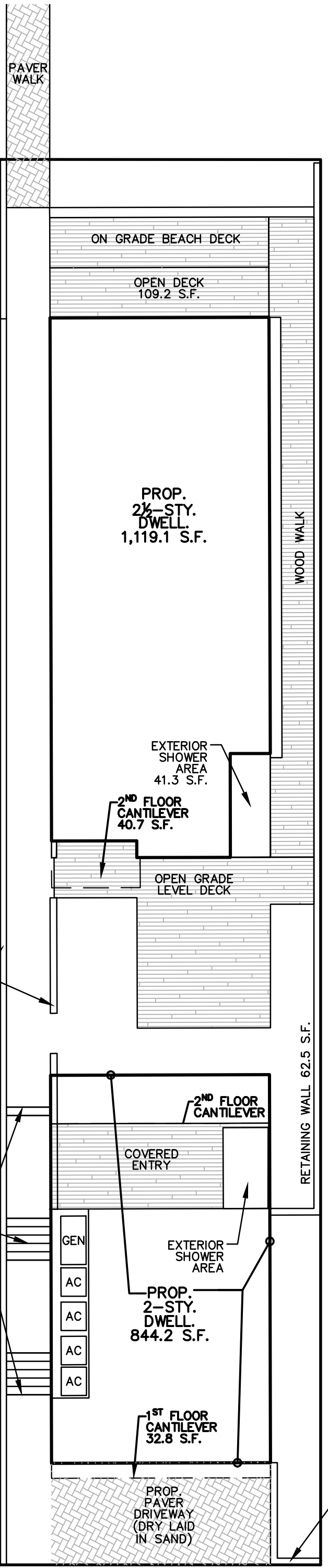
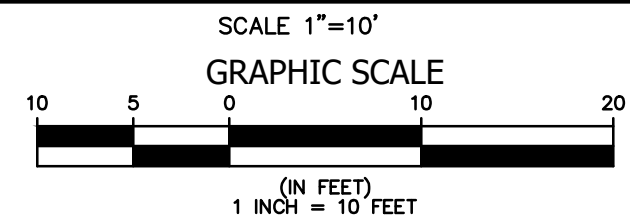
**EXISTING BUILDING COVERAGE**

CHIMNEY	6.0 S.F.
1 1/2 STORY FRAME DWELLING	1,157.4 S.F.
OUTDOOR SHOWER	25.2 S.F.
1 1/2 STORY FRAME DWELLING COVERED PORCH	698.1 S.F.
TOTAL	148.0 S.F.
	2,034.7 S.F.

**EXISTING LOT COVERAGE**

STEPS	7.1 S.F.
WOOD DECK	247.7 S.F.
CHIMNEY	6.0 S.F.
1 1/2 STORY FRAME DWELLING	1,157.4 S.F.
CONC. WALK	157.6 S.F.
OUTDOOR SHOWER	18.8 S.F.
WOOD DECK	108.0 S.F.
STEPS	36.4 S.F.
BILDG DOORS	21.7 S.F.
A/C DECK	9.5 S.F.
CONCRETE	32.0 S.F.
STEPS	5.0 S.F.
WOOD DECK	170.7 S.F.
OUTDOOR SHOWER	25.2 S.F.
TRASH ENCLOSURE	17.2 S.F.
1 1/2 STORY FRAME DWELLING	698.1 S.F.
STEPS	14.3 S.F.
LANDING	10.7 S.F.
COVERED PORCH	148.0 S.F.
MASONRY WALLS	6.8 S.F.
TOTAL	2,897.9 S.F.

**EXISTING COVERAGE CALCULATIONS DETAIL**



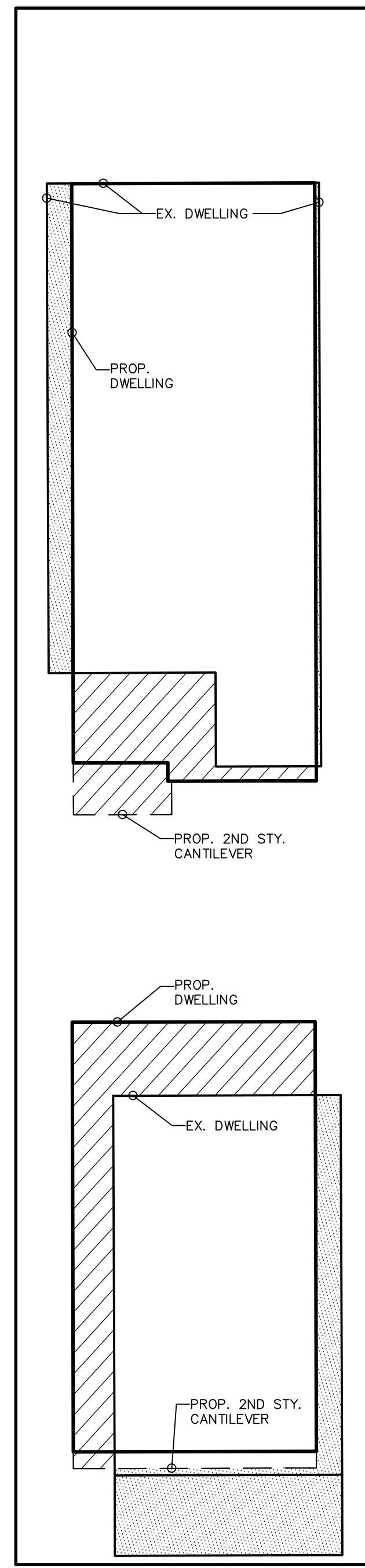
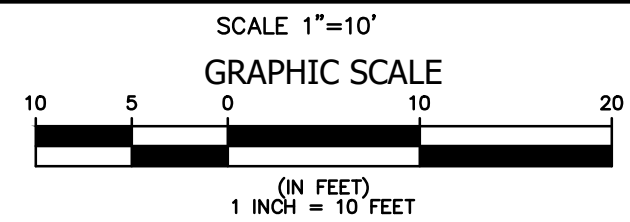
**PROPOSED BUILDING COVERAGE**

PROP. 2 1/2-STY. DWELL	1,119.1 S.F.
EXTERIOR SHOWER AREA	41.3 S.F.
2ND FLOOR CANTILEVER	40.7 S.F.
PROP. 2-STY. DWELL	844.2 S.F.
1ST FLOOR CANTILEVER	32.8 S.F.
TOTAL	2,078.1 S.F.

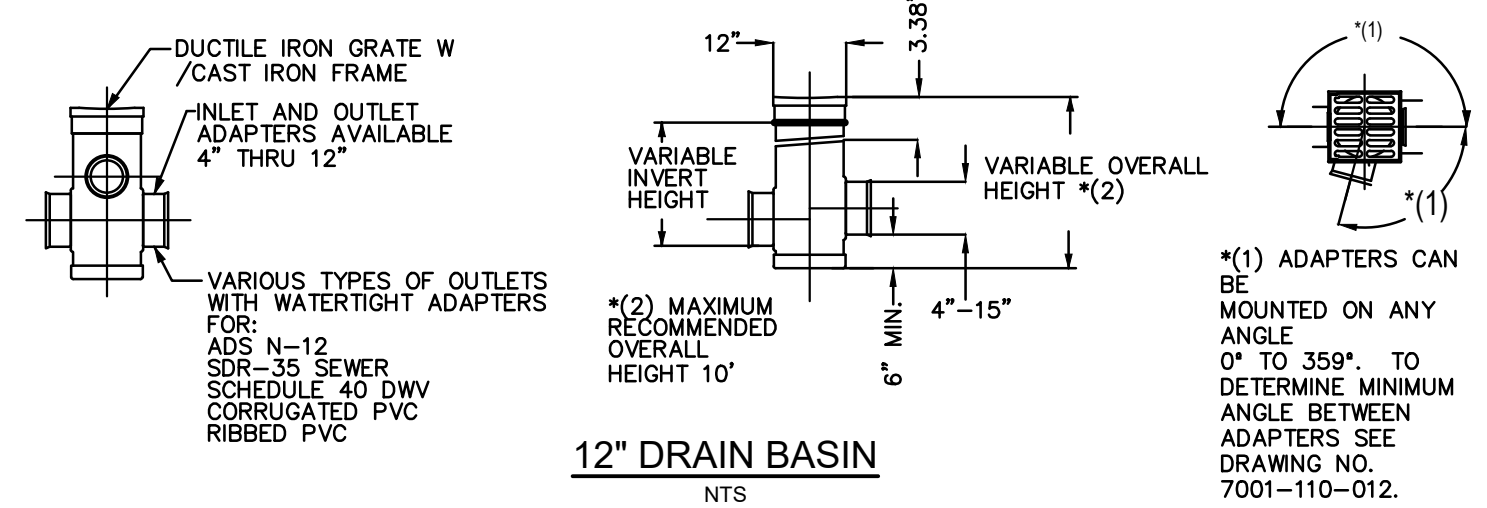
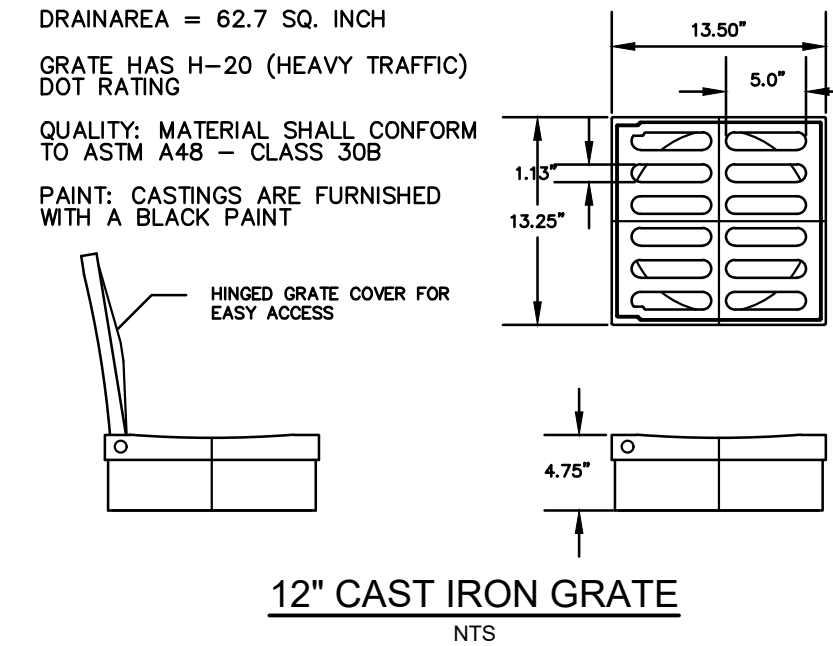
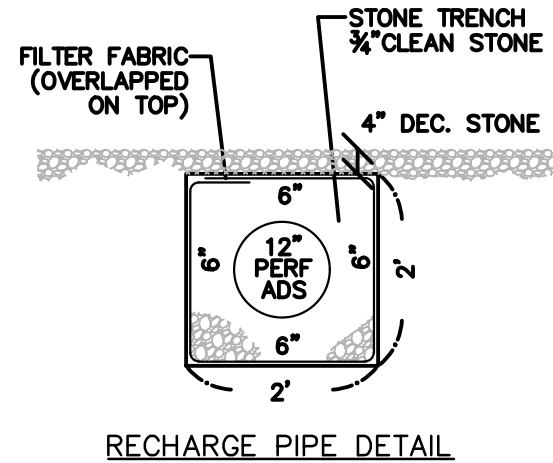
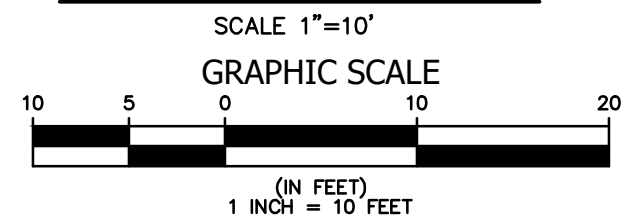
**PROPOSED LOT COVERAGE**

PROP. 2 1/2-STY. DWELL	1,119.1 S.F.
EXTERIOR SHOWER AREA	41.3 S.F.
2ND FLOOR CANTILEVER	40.7 S.F.
PROPOSED RETAINING WALLS	90.4 S.F.
RETAINING WALL	62.5 S.F.
PROP. 2-STY. DWELL	844.2 S.F.
1ST FLOOR CANTILEVER	32.8 S.F.
PROPOSED RETAINING WALL	9.7 S.F.
TOTAL	2,240.7 S.F.

**PROPOSED COVERAGE CALCULATIONS DETAIL**



**FOOTPRINT DIAGRAM**



**FLOOD HAZARD CONTROL ACT NOTES**

- DECK:
  - THE DECK IS NOT ENCLOSED WITH WALLS EITHER ABOVE OR BELOW ITS FLOOR EXCEPT FOR PROTECTIVE OR DECORATIVE FENCING BANISTERS OR LATTICE WORK THAT ALLOW FLOODWATERS TO PASS FREELY.
  - THE DECK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
  - THE DECK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PERMIT-BY-RULE 16 AT N.J.A.C. 7:13-7.16
- RESIDENTIAL CONSTRUCTION IN TIDAL FLOOD HAZARD AREA
  - THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
  - LOWEST FLOOR SHALL MEET THE FOLLOWING:
    - THE ENCLOSURE IS USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE;
    - THE FLOOR OF THE ENCLOSURE IS SITUATED AT OR ABOVE THE ADJOINING EXTERIOR GRADE ALONG AT LEAST ONE ENTIRE EXTERIOR WALL IN ORDER TO PROVIDE POSITIVE DRAINAGE OF THE ENCLOSED AREA; AND
    - THE ENCLOSURE IS CONSTRUCTED WITH FEMA COMPLIANT BREAKAWAY WALLS AND PERMANENT FLOOD OPENINGS THAT MEET THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23
  - THE DEED FOR THE LOT ON WHICH THE ENCLOSURE OR GARAGE IS CONSTRUCTED IS MODIFIED TO:
    - EXPLAIN THAT THE ENCLOSURE OR GARAGE IS LIKELY TO BE INUNDATED BY FLOODWATERS, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
    - DISCLOSE THE DEPTH OF FLOOD THAT THE ENCLOSURE OR GARAGE WOULD EXPERIENCE DURING THE FEMA 100-YEAR FLOOD AND FLOOD HAZARD AREA DESIGN FLOOD, IF EITHER ELEVATION IS KNOWN;
    - PROHIBIT HABITATION OF THE ENCLOSURE OR GARAGE; AND
    - EXPLAIN THAT CONVERTING THE ENCLOSURE OR GARAGE INTO A HABITABLE AREA MAY SUBJECT THE PROPERTY OWNER TO ENFORCEMENT ACTION BY THE NADP;
  - THE PROPOSED DRIVEWAY ASSOCIATED WITH HABITABLE BUILDING SHALL MEET THE REQUIREMENTS AT N.J.A.C. 7:13-12.6(f). THE DRIVEWAY WILL NOT BE CONSTRUCTED FOR A BUILDING THAT IS PART OF RESIDENTIAL SUBDIVISION OR MULTIUNIT DEVELOPMENT AND A DEED MODIFICATION WILL BE PROVIDED IN ACCORDANCE WITH 12.6(f), SINCE IT IS NOT FEASIBLE TO CONSTRUCT THE DRIVEWAY AT LEAST ONE FOOT ABOVE THE BFE OF 14.0' NAVD.

**V-ZONE NOTES**

- BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER FOR DWELLING AND GARAGE AREA TO BE SET AT MIN. ELEVATION 15.0 MIN. (FEMA PRELIMINARY FIRM 14.0 PLUS 1 FOOT OF FREEBOARD TO BOTTOM OF GIRDER).
- THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
- ALL AREAS BELOW LOWEST HORIZONTAL GIRDER MIN. (EL. 15.0) SHALL BE NON BEARING BREAKAWAY WALLS IN ACCORDANCE WITH FEMA REQUIREMENTS.
- LOWEST HORIZONTAL STRUCTURAL MEMBER SHALL BE SUPPORTED BY PILINGS DRIVEN TO A TIP ELEVATION OF -10.0 NAVD 88.
- GARAGE SLAB (EL. 6.58) SHALL BE NON STRUCTURAL CONCRETE SLABS, NOT CONNECTED TO SUPPORT PILINGS IN ACCORDANCE WITH V-ZONE FEMA STANDARDS.
- GARAGE DOORS SHALL BE NON BEARING AND BREAKAWAY DESIGN BELOW THE LOWEST HORIZONTAL STRUCTURAL MEMBER MIN. (EL. 15.0).
- LOWER LEVEL BELOW EL. 15.0 SHALL ONLY BE USED FOR STORAGE AND PARKING AND SHALL NOT BE USED FOR HABITABLE SPACE.
- THE PROPOSED GARAGE WILL BE ENCLOSED USING NON BEARING (FEMA APPROVED) BREAKAWAY WALLS.
- ALL DUCT WORK, ELECTRICAL COMPONENTS AND MECHANICALS SERVING THE BUILDING SHALL BE LOCATED ABOVE THE DECK AND ALL SERVICE CONDUIT AND/OR PIPING FOR THE SUBJECT BUILDING SHALL NOT BE LOCATED ON THE BREAK-AWAY WALLS.
- ALL STAIRWAY SYSTEMS FOR THE SUBJECT BUILDING BELOW THE DFE SHALL BE OF BREAK-AWAY CONSTRUCTION DESIGN AND SHALL BREAK CLEANLY AWAY DURING THE BASE FLOOD EVENT WITHOUT CAUSING DAMAGE TO THE BUILDING OR ITS FOUNDATION. OR THE STAIRWAY SYSTEMS SHALL BE DESIGNED TO RESIST FLOOD LOADS AND REMAIN IN PLACE DURING THE BASE FLOOD EVENT WITH THE ELEVATED BUILDING AND ITS FOUNDATION DESIGNED TO RESIST ANY FLOOD LOADS THAT ARE TRANSFERRED FROM THE STAIRS TO THE BUILDING.
- THE BUILDING AND ANY ASSOCIATED DECKS, WHICH ARE LOCATED IN THE VE FLOOD ZONE, SHALL BE DESIGNED WITH A DEEP FOUNDATION (PILES OR COLUMNS) TO SUPPORT THE STRUCTURE IN THE EVENT OF SCOUR OR EROSION, AND THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER FOR THE ELEVATED STRUCTURE, INCLUDING GARAGE, SHALL BE ABOVE THE DFE.

**CAFRA GENERAL NOTES:**

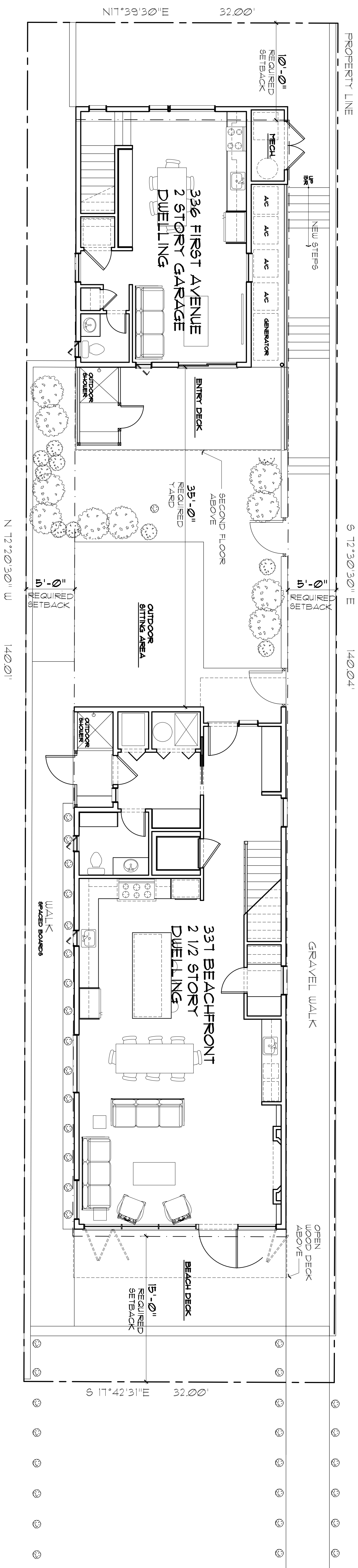
- INDIGENOUS COASTAL PLANTS ARE ENCOURAGED TO BE USED WHEREVER FEASIBLE. NO PLASTIC LINERS SHALL BE USED IN LANDSCAPED OR GRAVEL AREAS. ALL LINERS SHALL BE MADE OF FILTER CLOTH OR OTHER PERMEABLE MATERIAL.
- CROWN DRIVEWAY TO PITCH RUNOFF TO DRAIN ONTO PERMEABLE AREAS OF THE SITE OR USE OTHER PERMEABLE STONE.
- PROPOSED SILT FENCE SHALL BE ERRECTED PRIOR TO CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION AND LANDSCAPING IS COMPLETE.
- ALL CONSTRUCTION SHALL COMPLY WITH FEMA REQUIREMENTS AND FLOOD HAZARD CONTROL ACT REQUIREMENTS.
- FLOOD VENTS SHALL BE INSTALLED IN GARAGE AND LOWER LEVEL IN ACCORDANCE WITH FEMA REQUIREMENTS.

**FLOOD VENTS SHALL MEET THE FOLLOWING:**

- THE INVERT OF EACH FLOOD VENT SHALL BE NO MORE THAN 12 INCHES ABOVE THE ADJOINING EXTERIOR GRADE OR INTERIOR SLAB.
- THE INVERT OF AT LEAST HALF OF THE FLOOD VENTS SHALL BE NO MORE THAN 12 INCHES ABOVE THE FLOOR OF THE BUILDING.
- THE COMBINED EFFECTIVE OPEN AREA OF THE FLOOD VENTS SHALL BE AT LEAST ONE SQUARE INCH PER SQUARE FOOT OF THE AREA OF THE FOOTPRINT OF THE BUILDING, UNLESS A SMALLER FEMA-APPROVED DEVICE WITH AN EQUIVALENT EFFECTIVE AREA IS UTILIZED; AND
- THE FLOOD VENTS SHALL NOT BE BLOCKED AT ANY TIME, BUT SHALL PERMANENTLY REMAIN OPEN SO THAT THE FLOODWATERS CAN FREELY ENTER THE BUILDING TO BALANCE HYDROSTATIC PRESSURE DURING A FLOOD.
- NO FLOOD VENT SHALL BE PLACED CLOSER THAN 3 FEET TO A GAS METER OR GAS CONSUMING APPLIANCE.
- SEE ARCHITECTURAL PLANS FOR FLOOD VENT DETAILS AND MODEL.
- FLOOD VENTS TO BE PROVIDED FOR ALL ENCLOSED AREAS OF THE LOWER LEVEL ON THE BASIS OF 1 SQ. IN. OF VENTING PER SQ. FT. OF ENCLOSURE.

1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR
NO.	DATE	REVISION DESCRIPTION	BY
<p><b>Lindstrom, Diessner &amp; Carr, P.C.</b> ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax. (732)477-8026</p>			
<p><b>PLOT PLAN</b> <b>LOT 14 BLOCK 185</b></p>			
<p><b>CHARLES E. LINDSTROM</b> PROFESSIONAL ENGINEER N.J. LIC. NO. 246E02473900 PROFESSIONAL PLANNER N.J. LIC. NO. 33U00233300</p>		BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY DRAWN BY: JAR SCALE: 1"=20' DATE: 12/31/2020 SHEET: 2 OF 2 PROJECT: 20075	

CONCRETE CURB



Site Plan Legend:	
	PROPERTY LINE
	SETBACK LINE
Plan North:	True North:

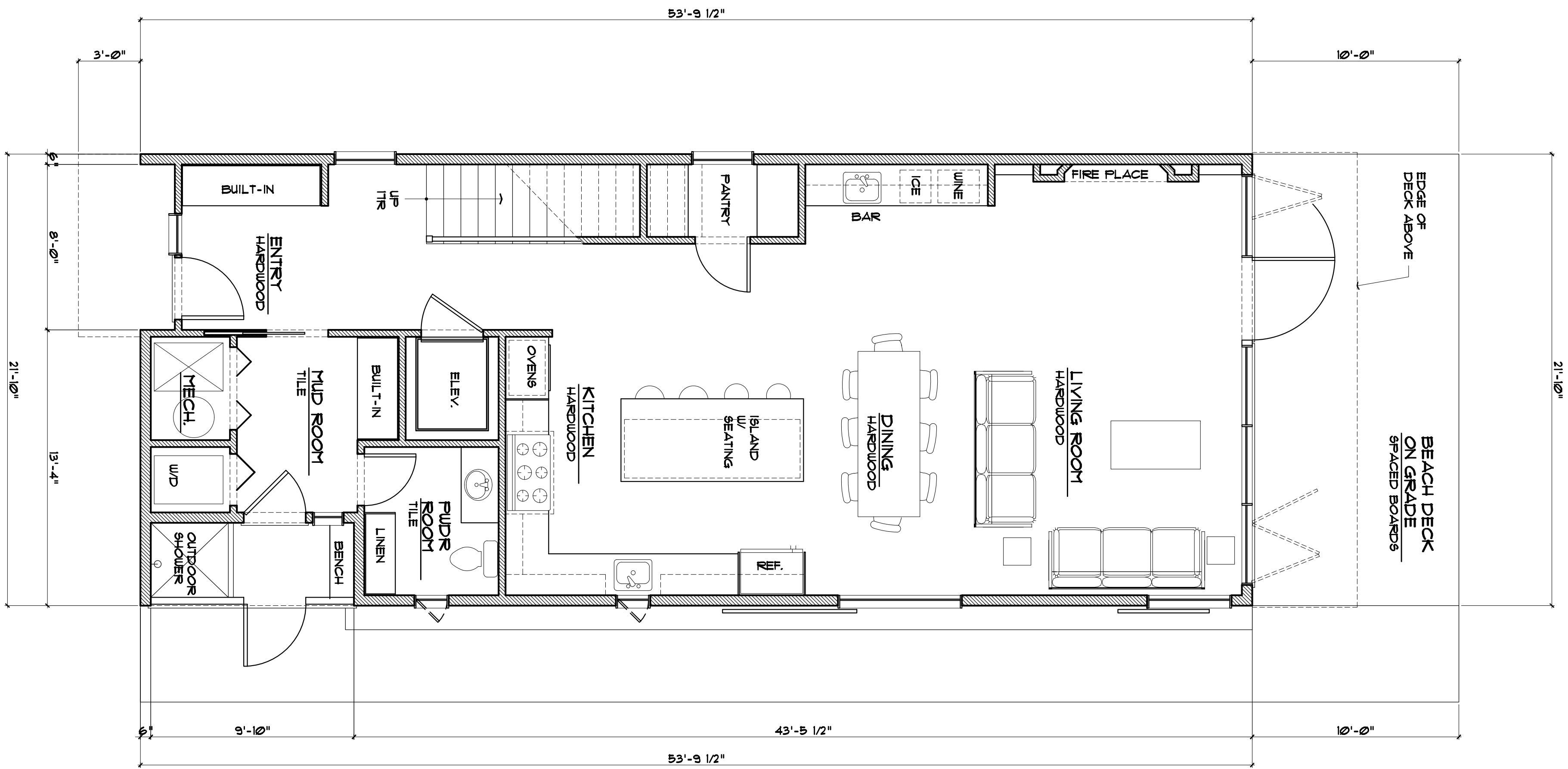
Site Plan  
SCALE: 3/16" = 1'-0"

**JEFF SCHNEIDER ARCHITECT**  
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 BAY HEAD, NJ 08742  
 (732) 892-8155 (T)  
 (732) 892-4331 (F)  
 JEFF@JEFFSCHNEIDERARCHITECT.COM

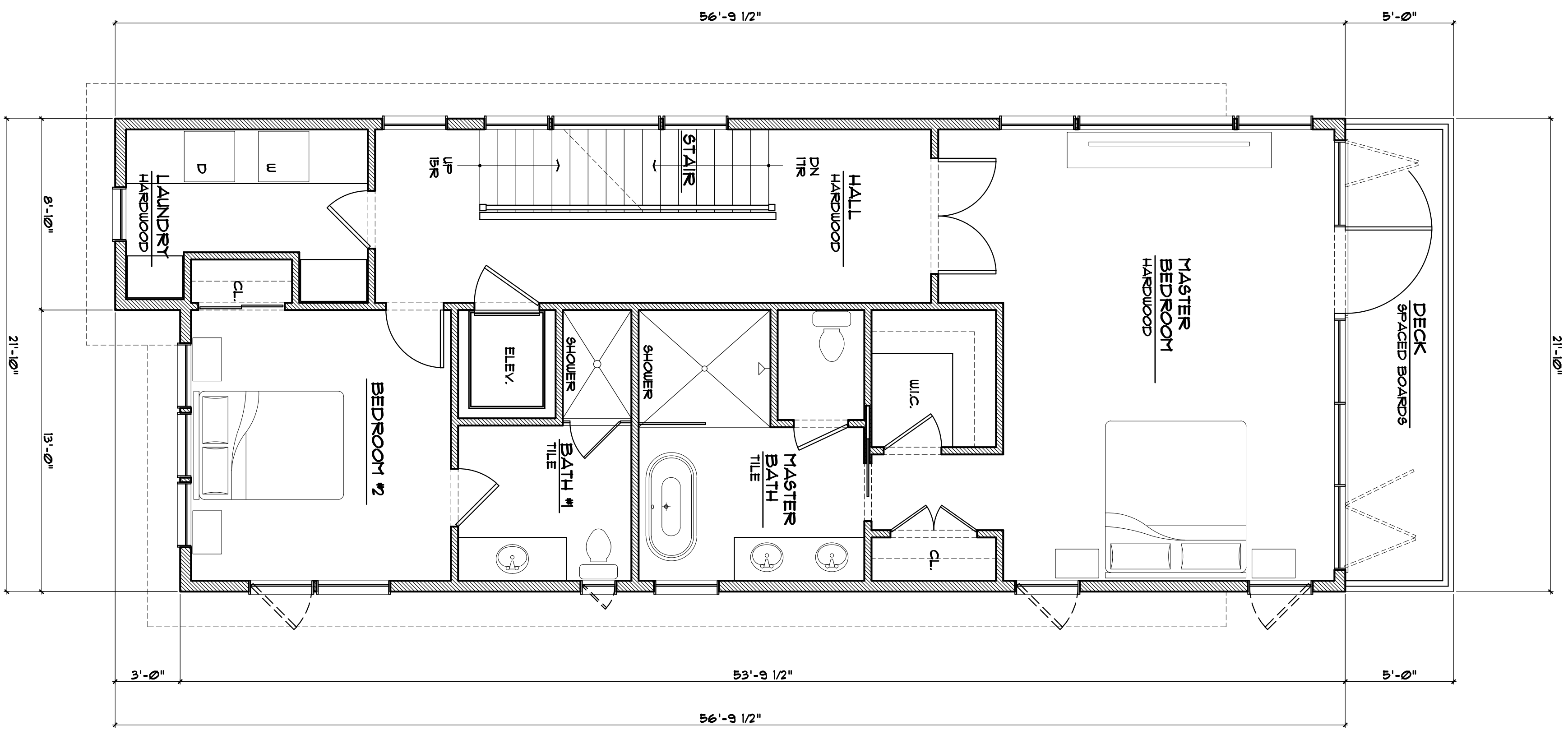
Jeffrey G. Schneider  
 New Jersey Architect  
 A1015418

New Construction:  
**CINFO RESIDENCE**  
 336 First Avenue  
 Borough of Manasquan, New Jersey

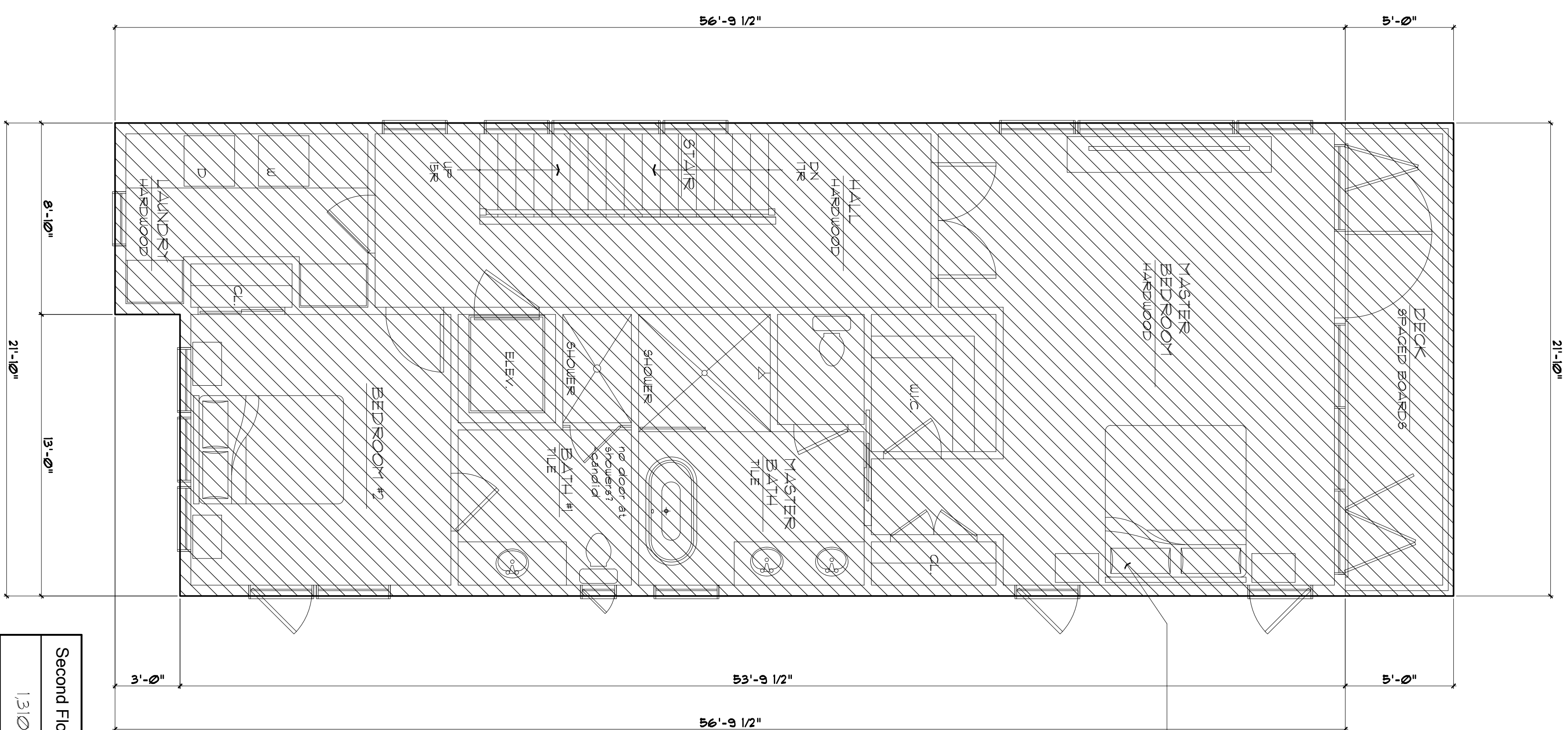
May 20, 2021	
revisions	date
1.	
2.	
3.	
4.	
project number	2021



1  
337 Beachfront  
First Floor Plan  
SCALE: 1/4" = 1'-0"



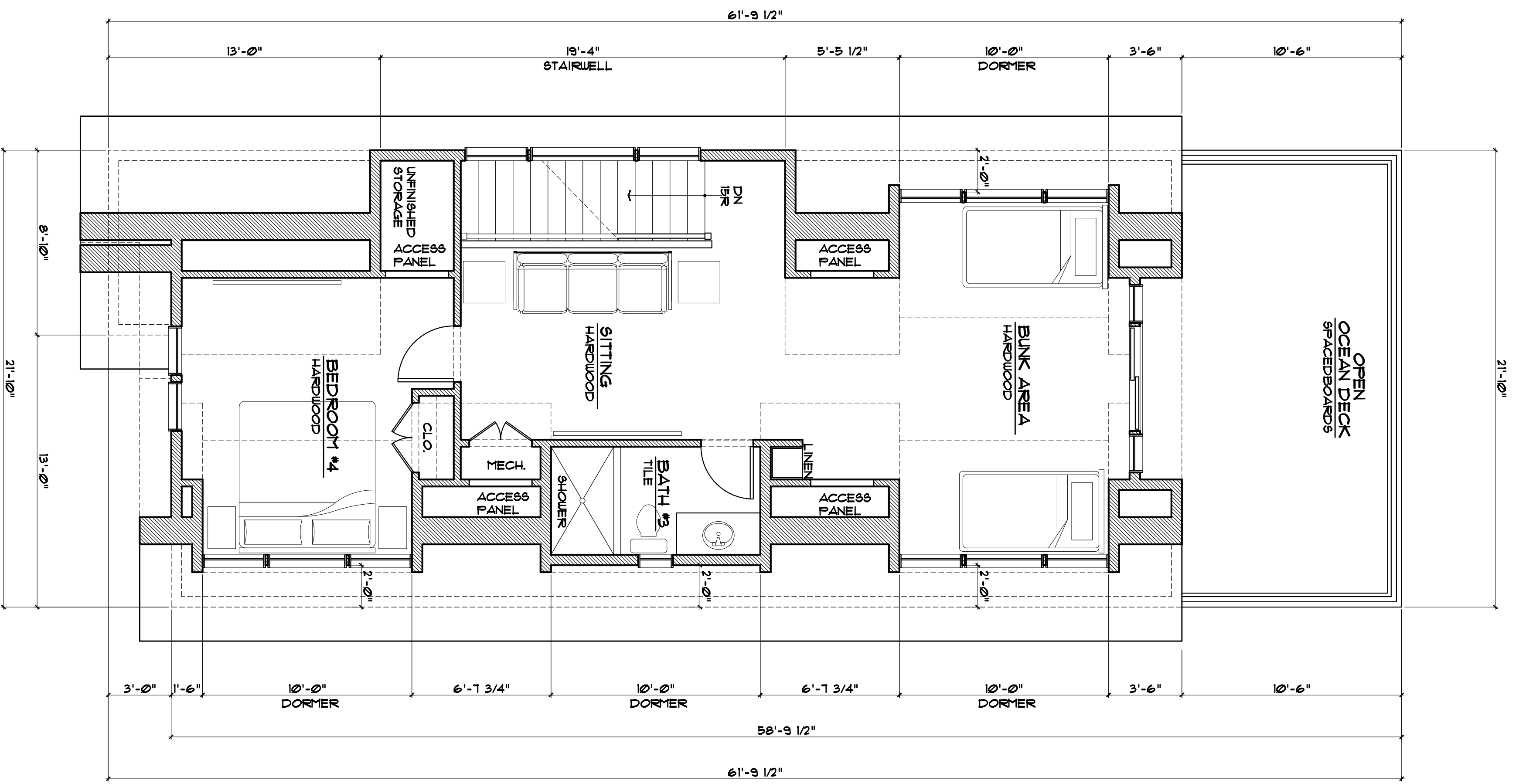
2  
337 Beachfront  
Second Floor Plan  
SCALE: 1/4" = 1'-0"



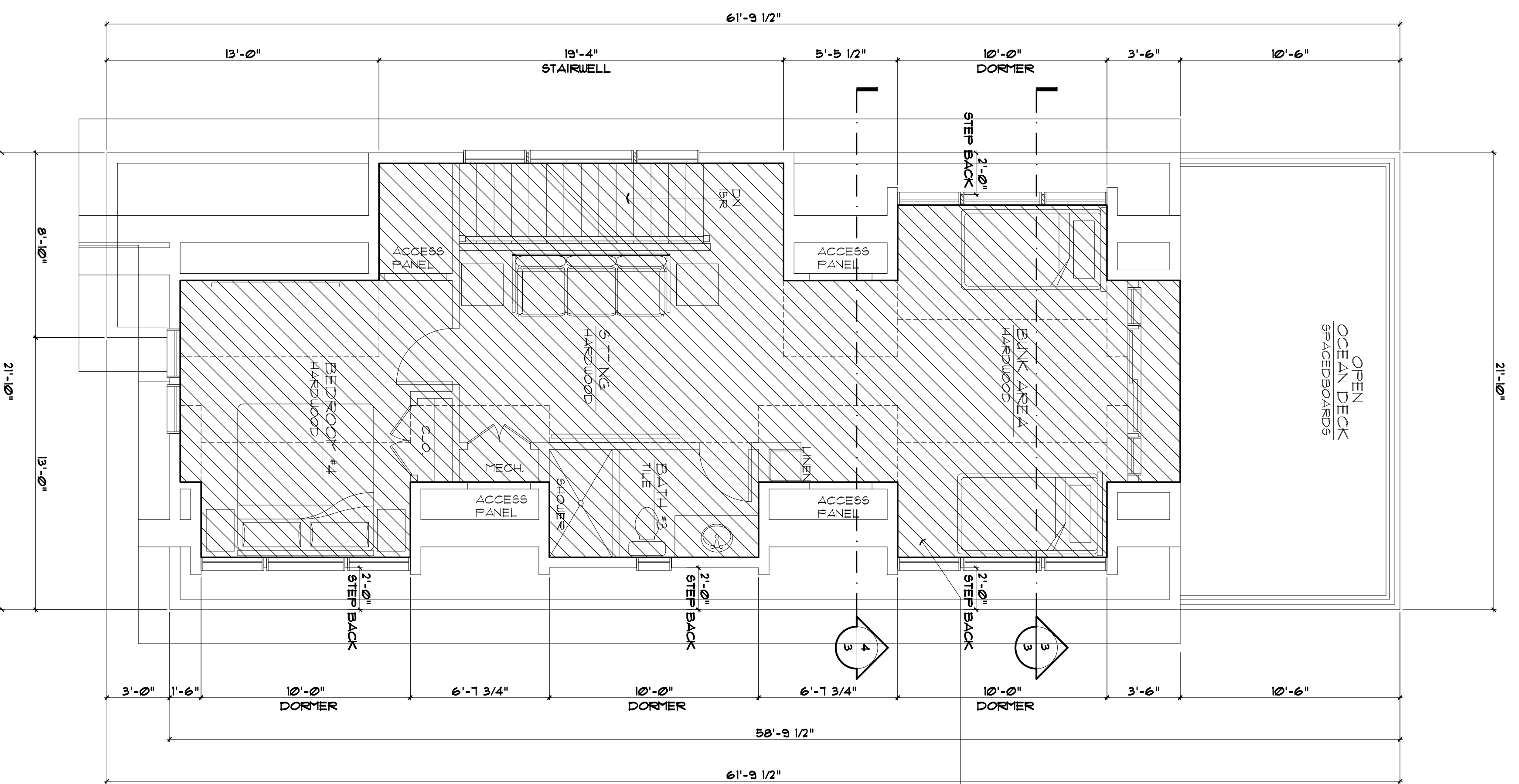
3  
337 Beachfront  
Second Floor Plan Area Diagram  
SCALE: 1/4" = 1'-0"

Second Floor Area:  
1310 SF.

SECOND FLOOR  
AREA INCLUSIVE  
OF COVERED  
PORCH



1 337 Beachfront  
Finished Attic Floor Plan  
SCALE: 1/4" = 1'-0"

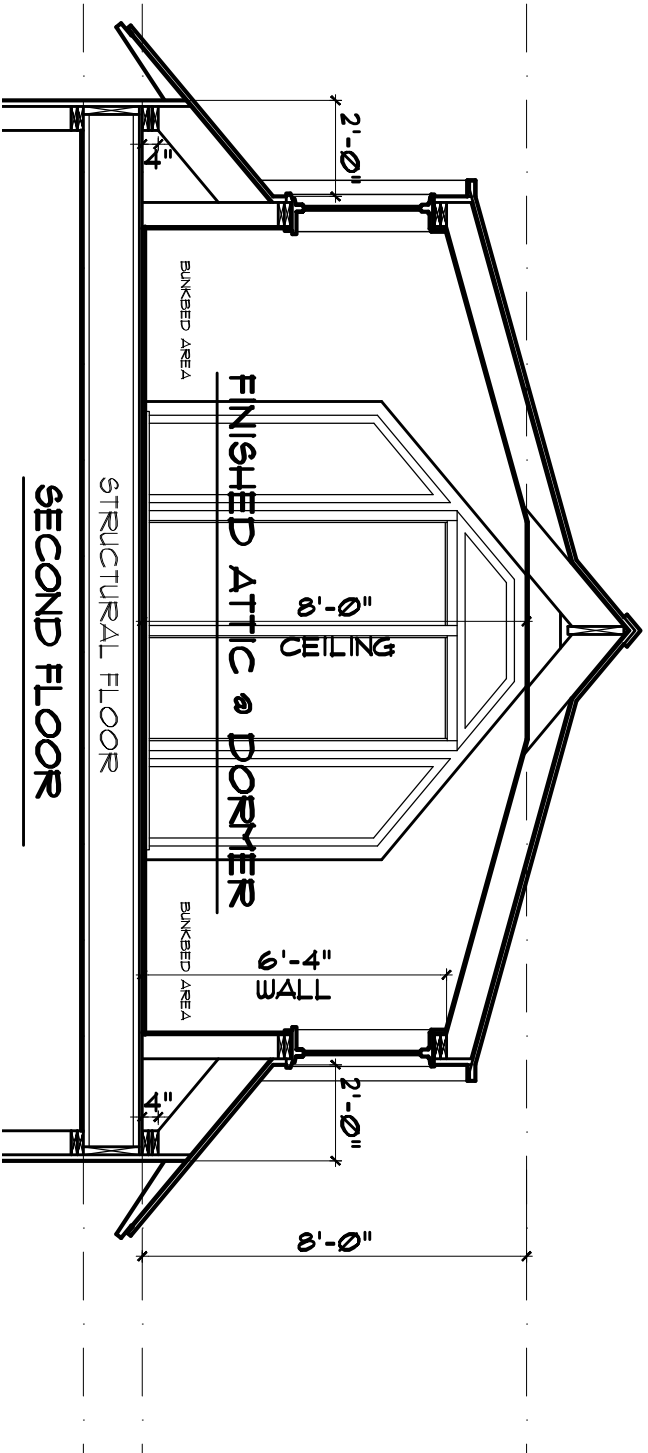


2 337 Beachfront  
Finished Attic Floor Plan Showing  
Area of Five Feet or Greater Headroom  
SCALE: 1/4" = 1'-0"

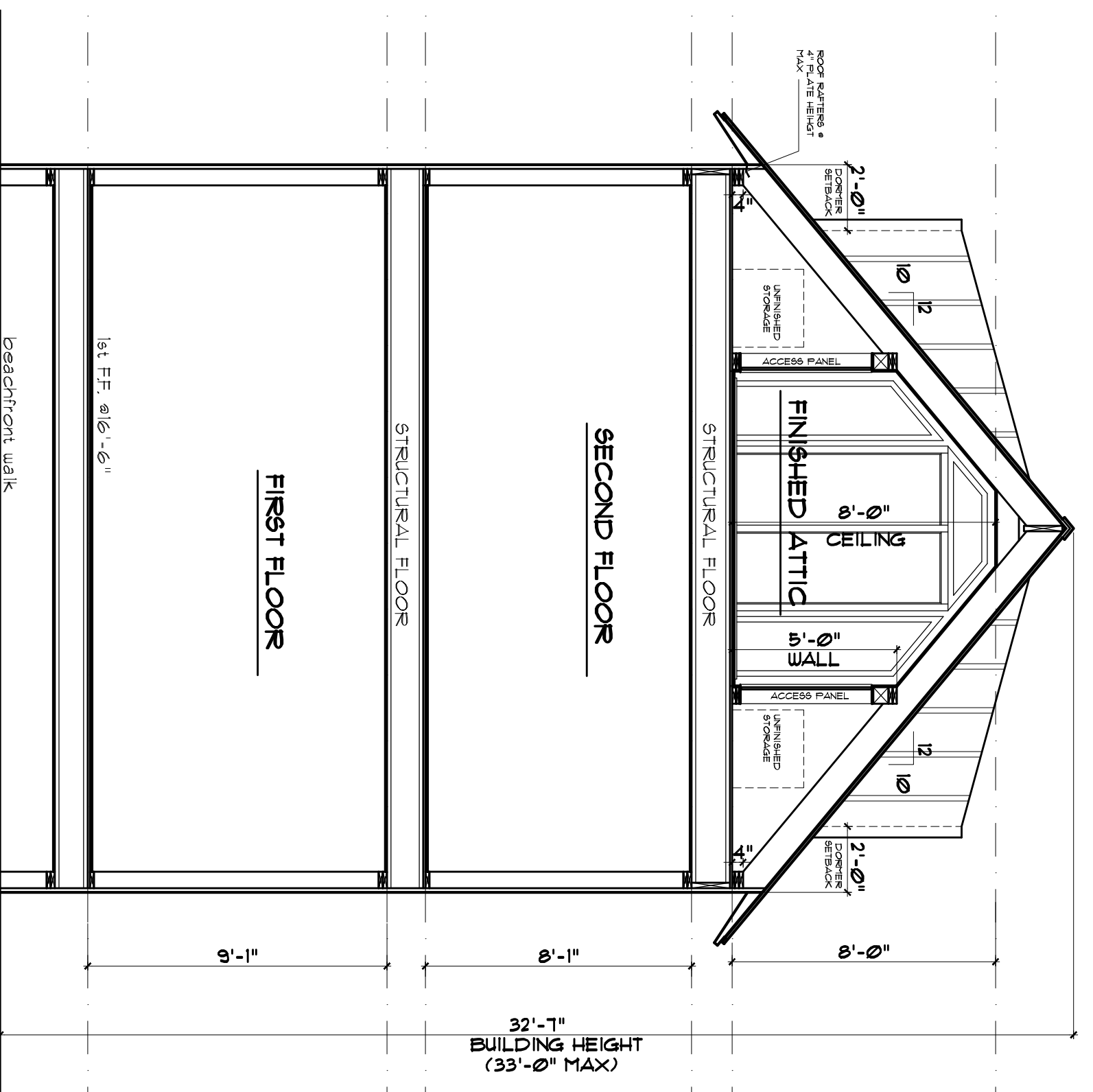
Half Story Calculation	
	113 S.F.

THE FINISHED AREA OF THE ATTIC WHERE THE INTERSECTION OF THE ROOF RAFTERS AND THE EXTERIOR WALL OCCURS WITHIN FOUR INCHES OF THE FLOOR/CEILING SYSTEM, AND IN WHICH SPACE THE MAXIMUM FLOOR AREA AT A CEILING HEIGHT OF FIVE FEET OR MORE INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES (113 SF) OCCUPIES 54.4% OF THE SQUARE FOOTAGE DIRECTLY BELOW (130 SF) INCLUSIVE OF ROOFED OVER PORCHES. 60% IS THE MAXIMUM ALLOWABLE.

HATCH REPRESENTS THE FINISHED AREA OF ATTIC IN WHICH HEIGHT OF FIVE FEET OR MORE INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES

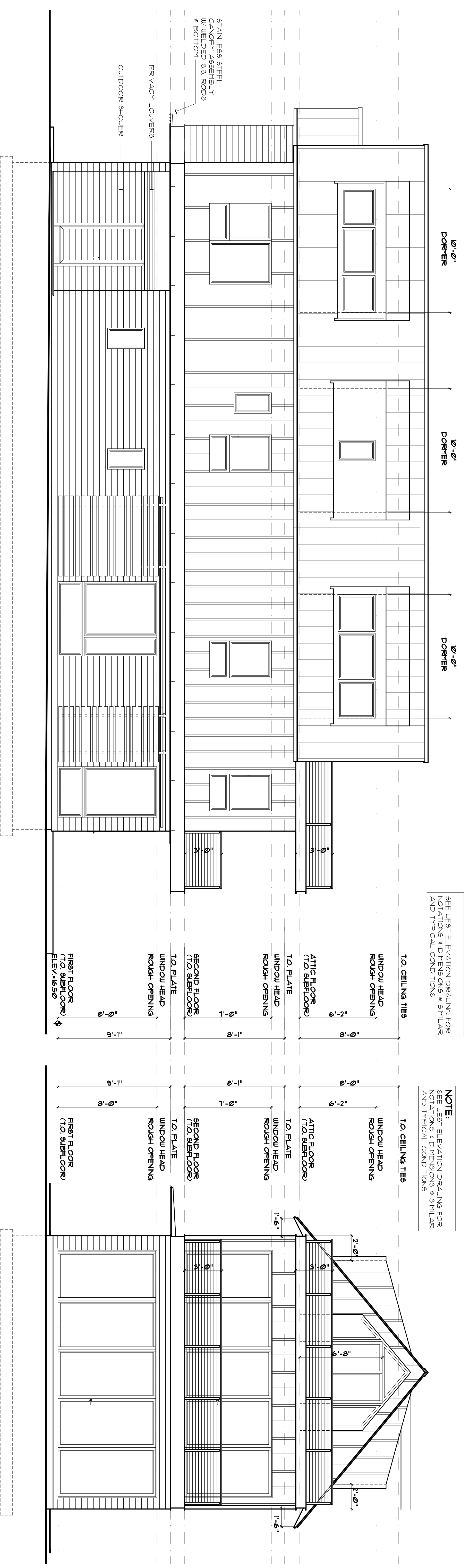


3 337 Beachfront  
Section @ Garret Dormer  
SCALE: 1/4" = 1'-0"



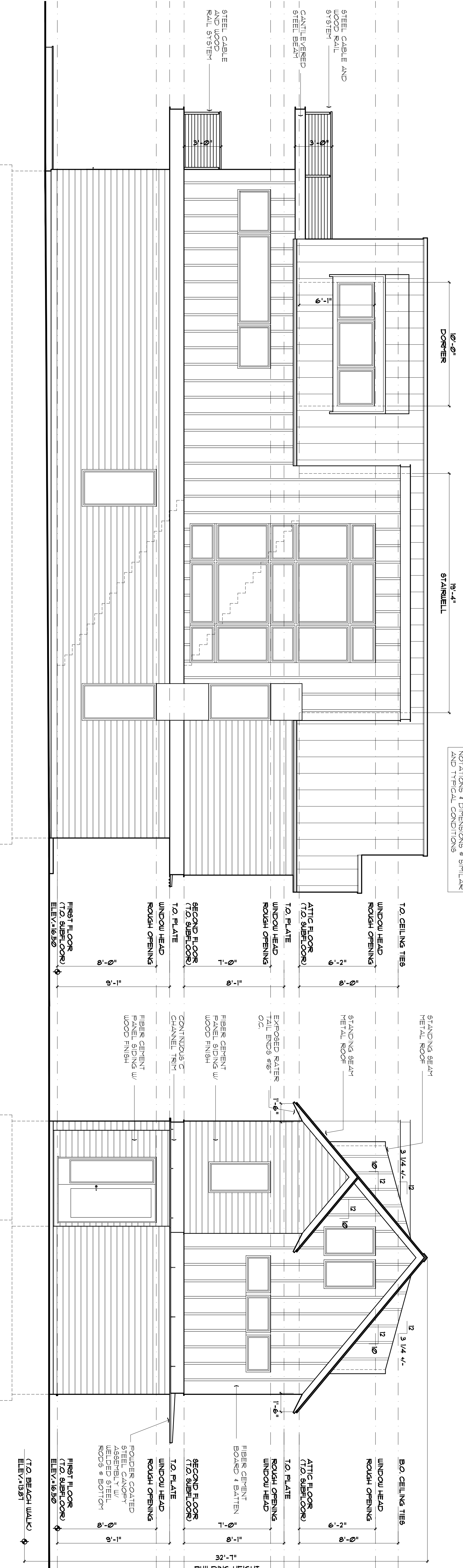
4 337 Beachfront  
Building Section  
SCALE: 1/4" = 1'-0"





4  
337 Beachfront  
South Elevation  
SCALE: 1/4" = 1'-0"

3  
337 Beachfront  
East Elevation  
SCALE: 1/4" = 1'-0"



2  
337 Beachfront  
North Elevation  
SCALE: 1/4" = 1'-0"

1  
337 Beachfront  
West Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS & SIMILAR AND TYPICAL CONDITIONS

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS & SIMILAR AND TYPICAL CONDITIONS

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SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS & SIMILAR AND TYPICAL CONDITIONS

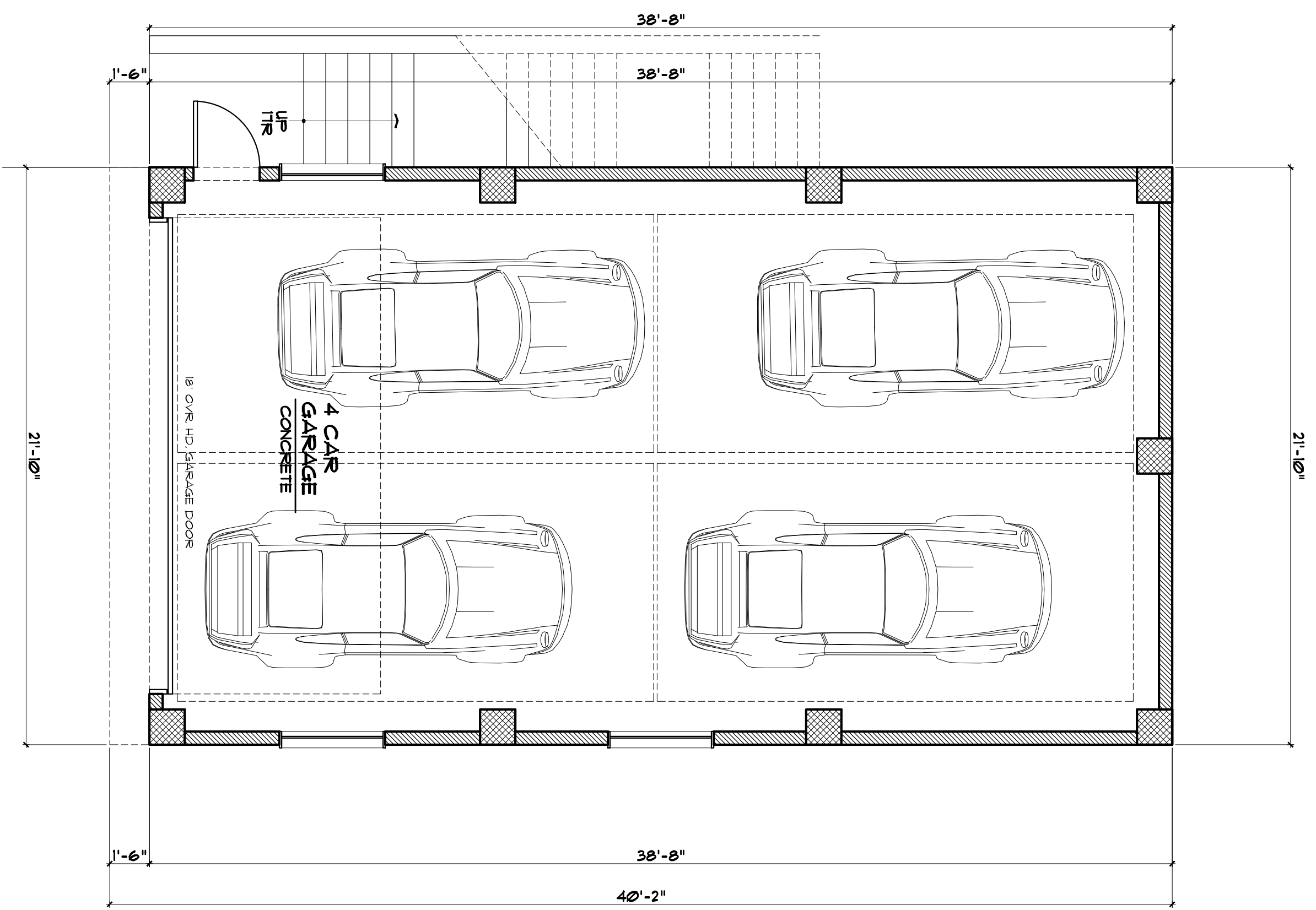
revisions	date
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2.	
3.	
4.	
project number	2021

New Construction:  
**CINFIO RESIDENCE**  
336 First Avenue  
Borough of Manasquan, New Jersey

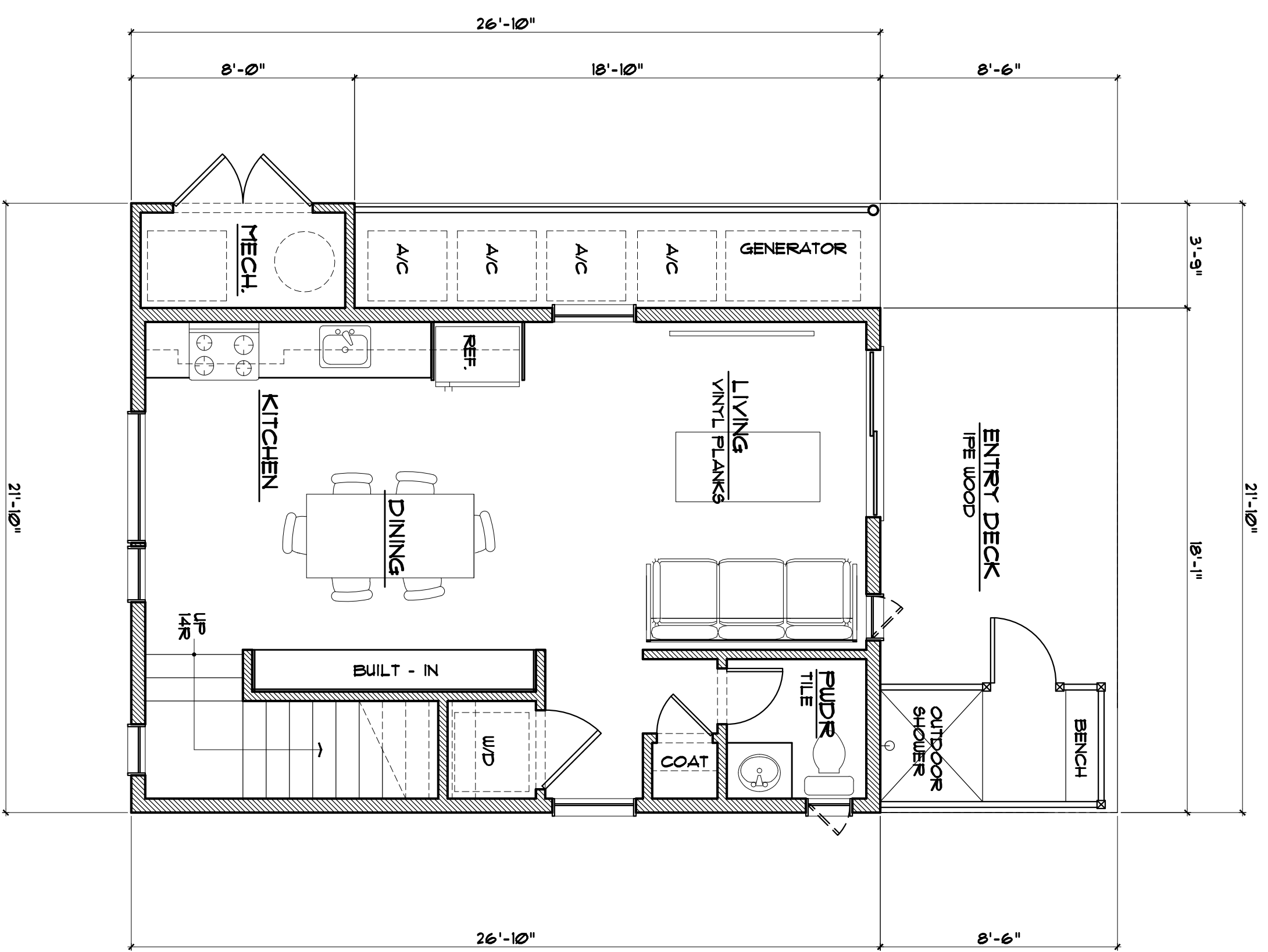
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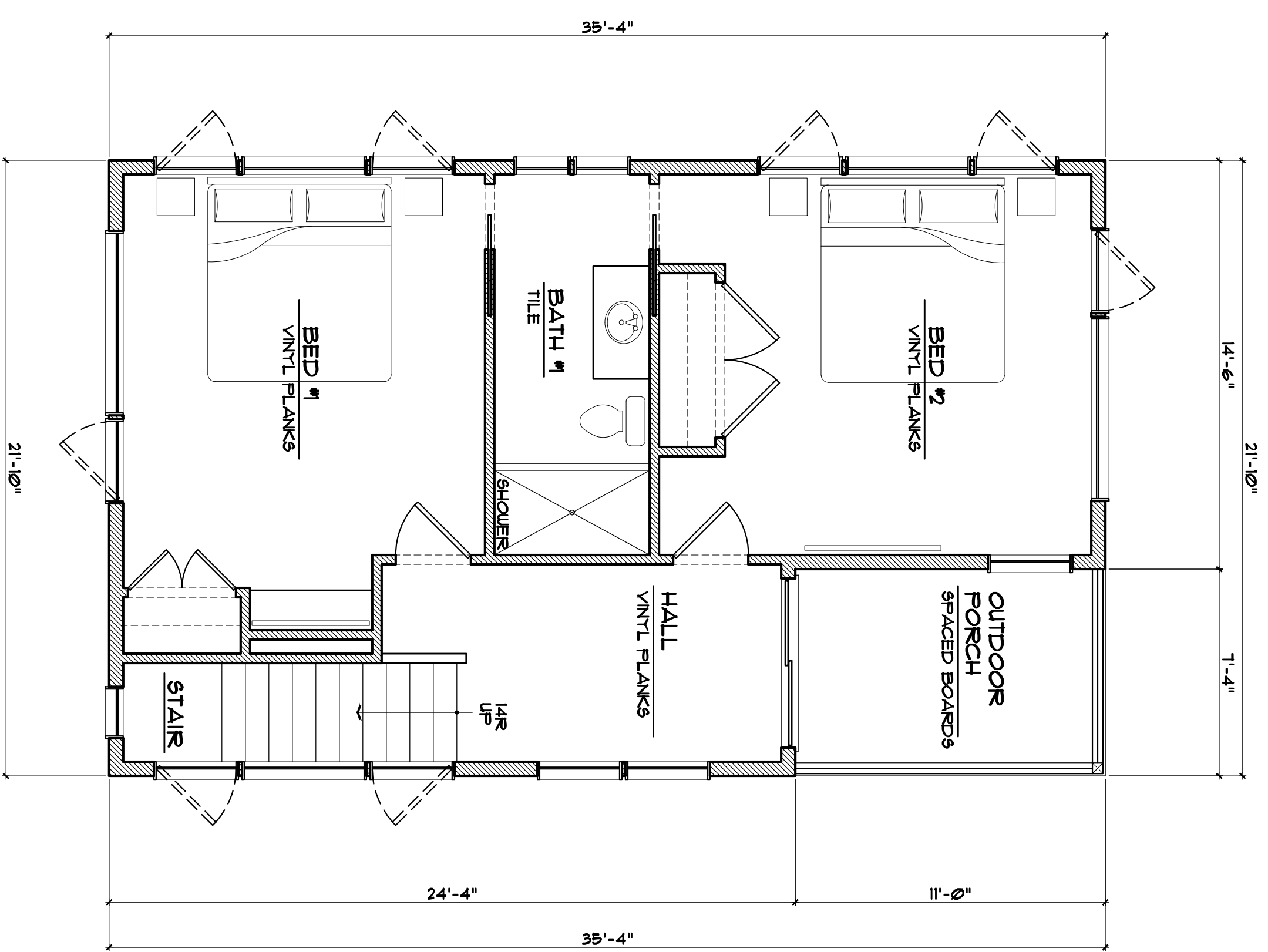
Cinfo



1  
336 First Avenue  
Grade Level Plan  
SCALE: 1/4" = 1'-0"



2  
336 First Avenue  
First Floor Plan  
SCALE: 1/4" = 1'-0"



3  
336 First Avenue  
Second Floor Plan  
SCALE: 1/4" = 1'-0"

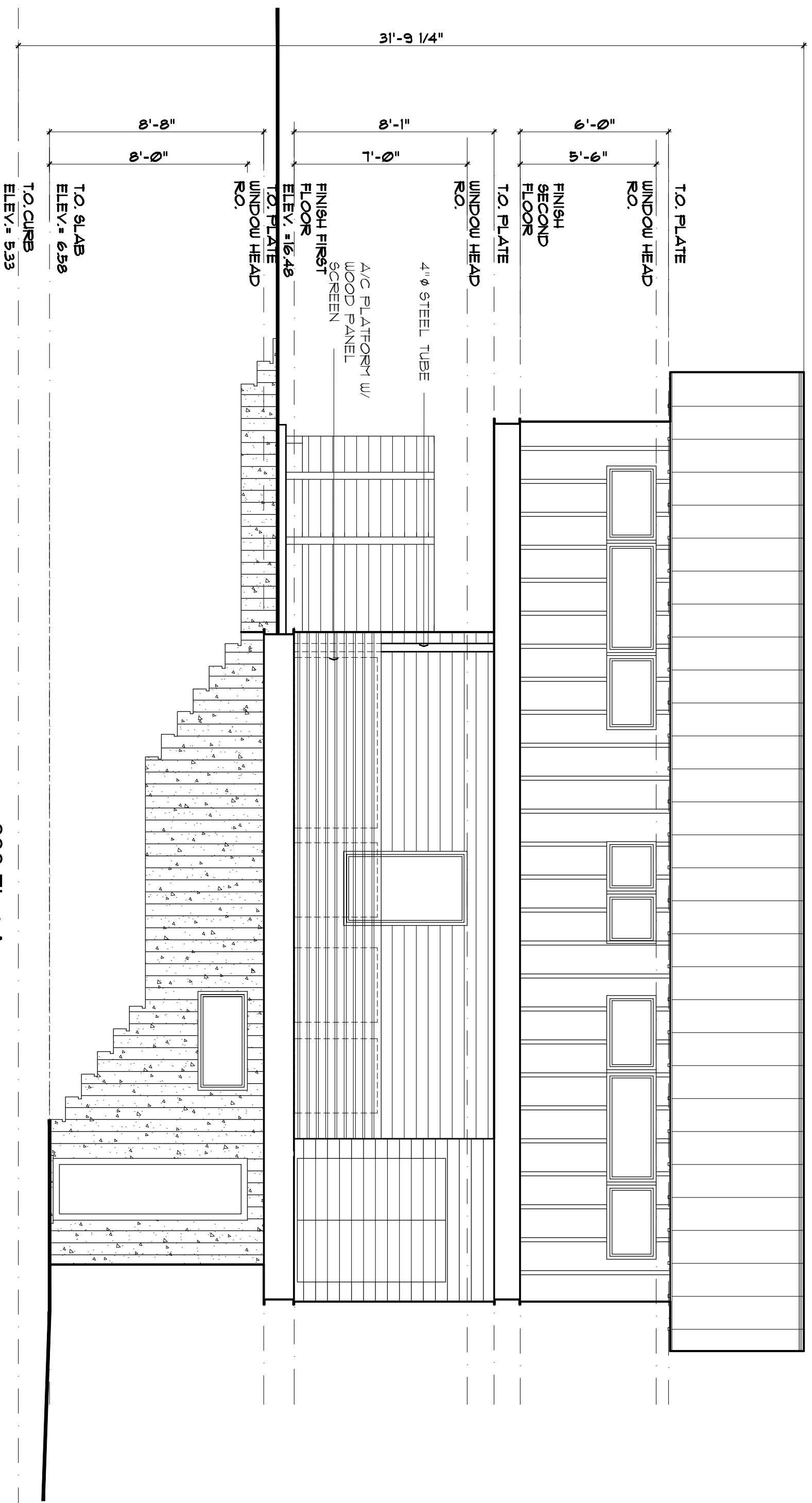
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Jeffrey G. Schneider  
 New Jersey Architect  
 A1015418

New Construction:  
**CINFFIO RESIDENCE**  
 336 First Avenue  
 Borough of Manasquan, New Jersey

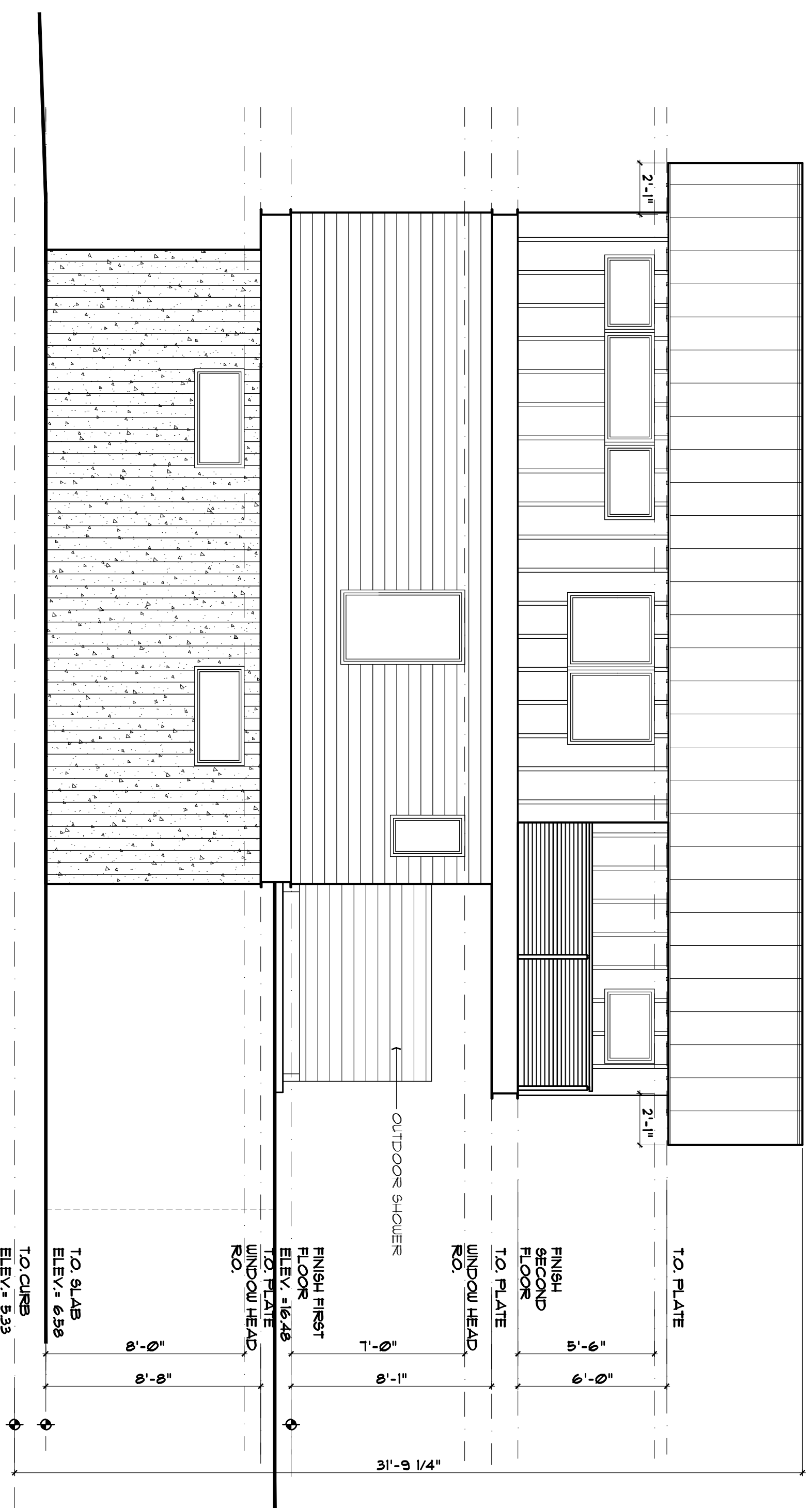
revisions	date
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2.	
3.	
4.	
project number	2092

NOTE:  
SEE WEST ELEVATION DRAWING FOR  
NOTATIONS & DIMENSIONS & SIMILAR  
AND TYPICAL CONDITIONS



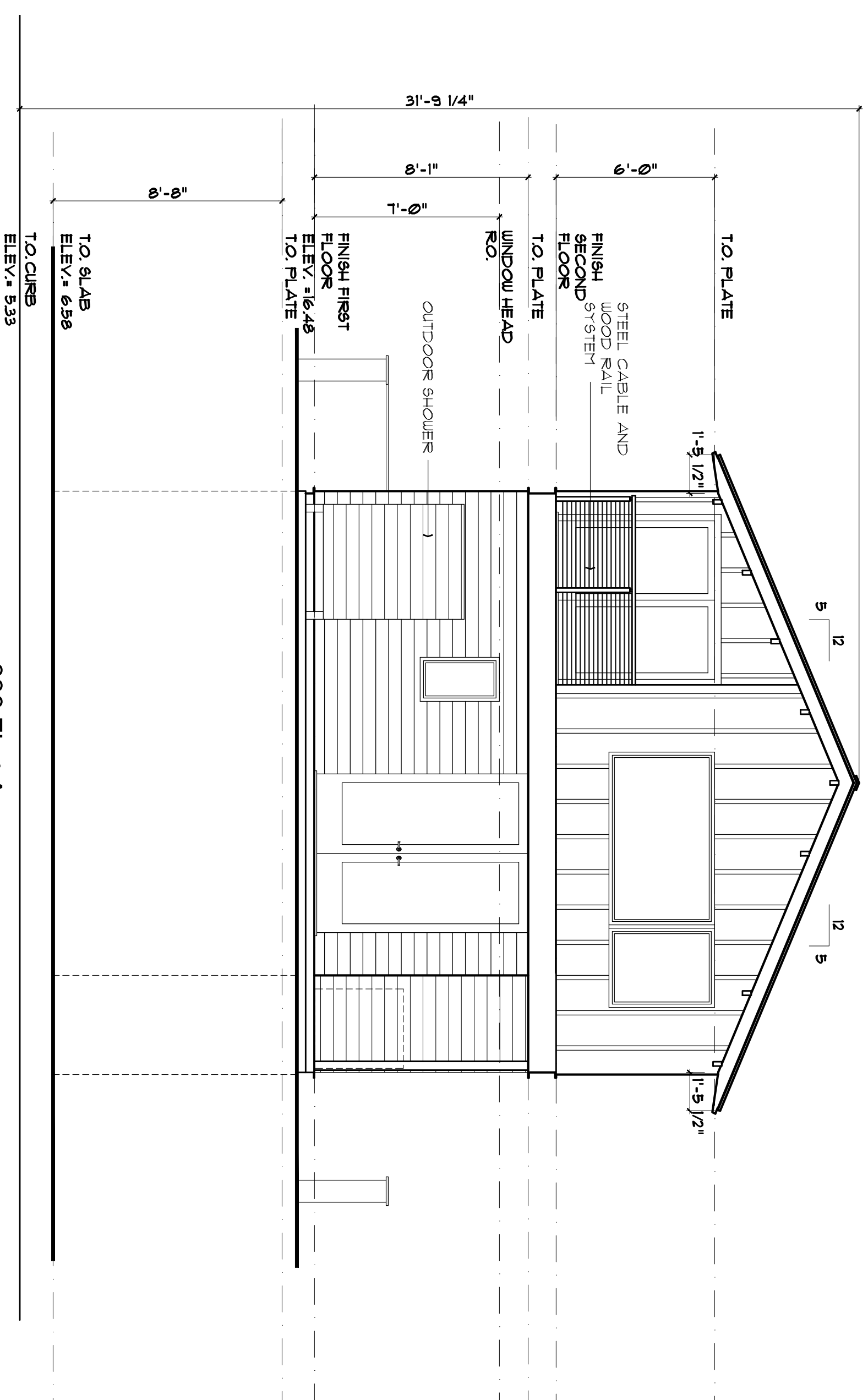
4  
336 First Avenue  
North Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR  
NOTATIONS & DIMENSIONS & SIMILAR  
AND TYPICAL CONDITIONS

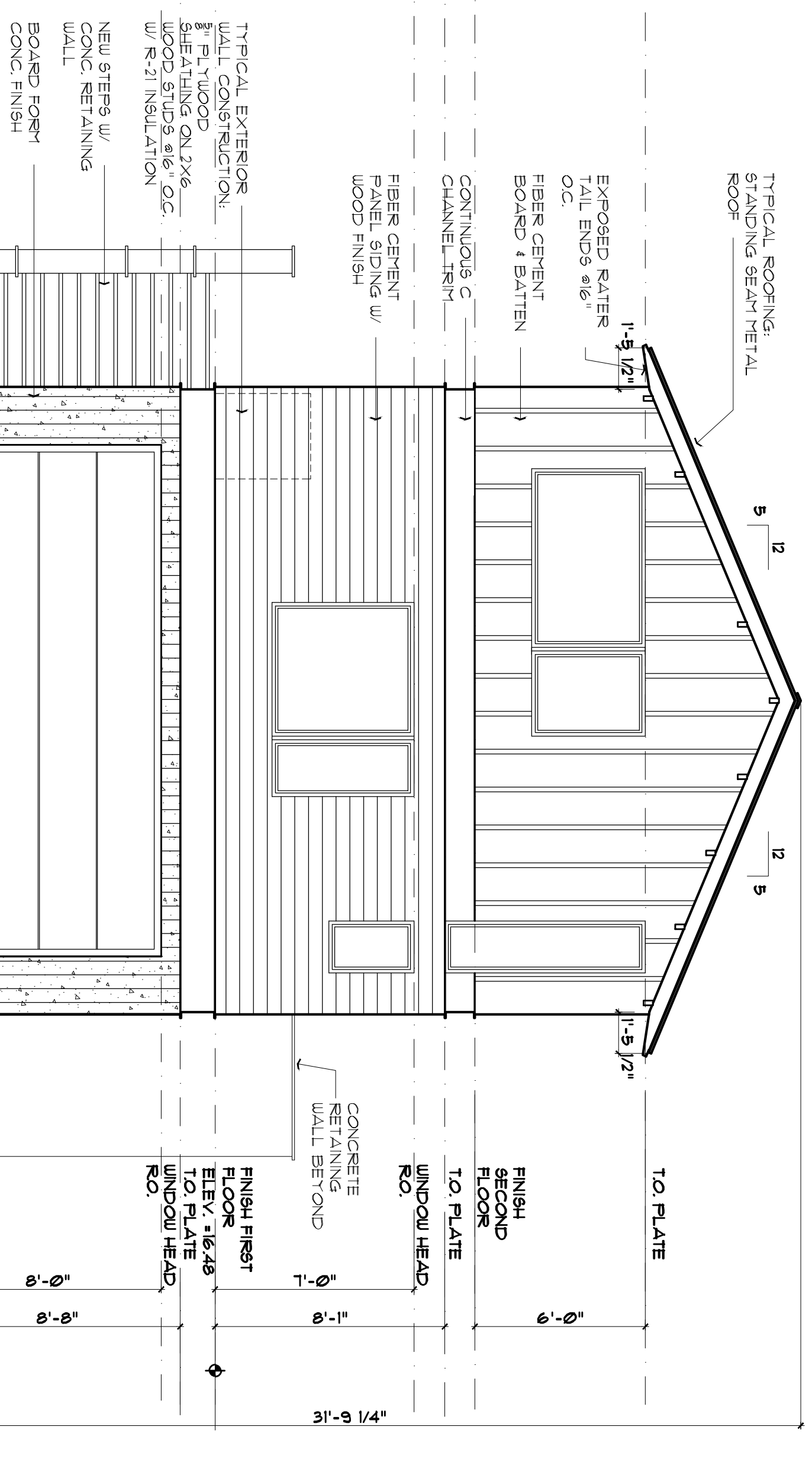


2  
336 First Avenue  
South Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR  
NOTATIONS & DIMENSIONS & SIMILAR  
AND TYPICAL CONDITIONS



3  
336 First Avenue  
East Elevation  
SCALE: 1/4" = 1'-0"



1  
336 First Avenue  
West Elevation  
SCALE: 1/4" = 1'-0"

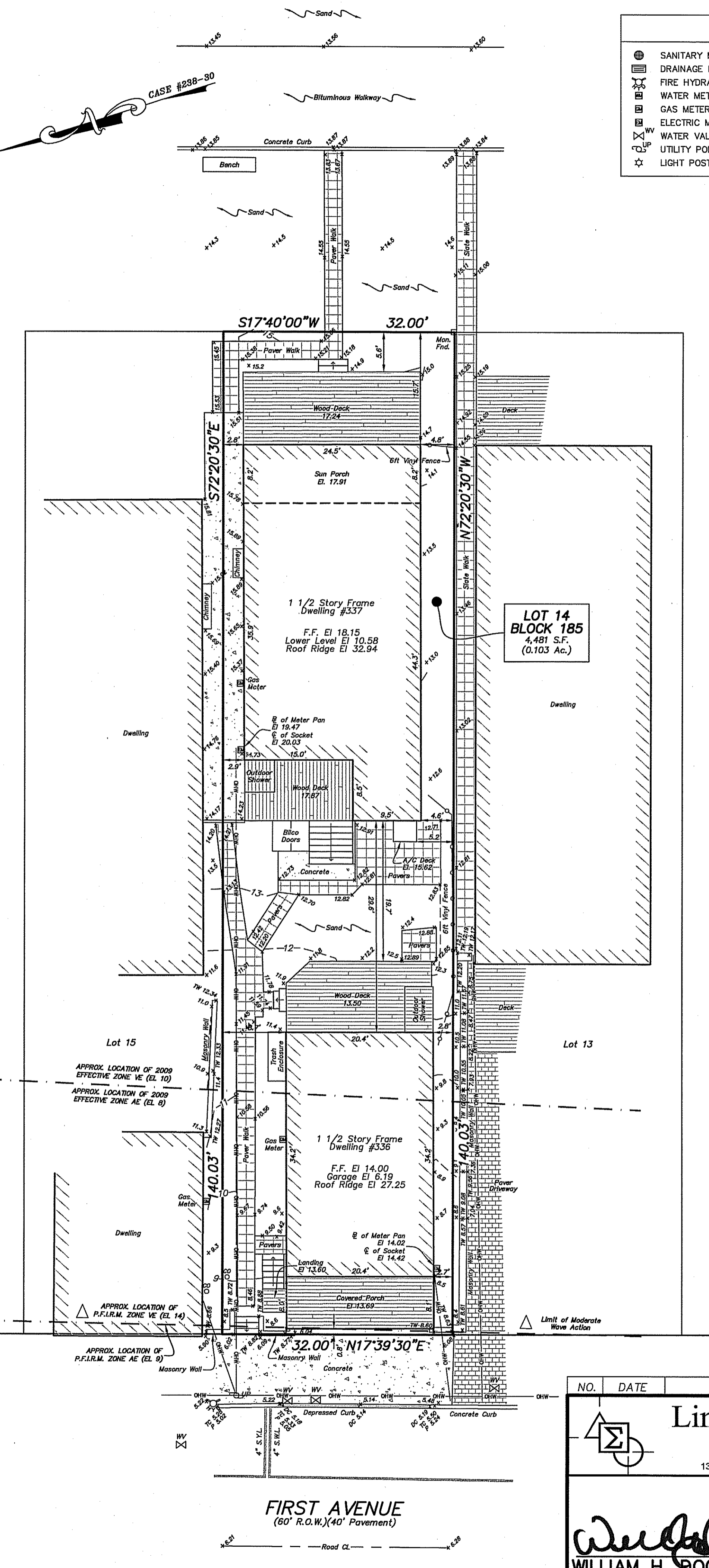
May 20, 2021

revisions	date
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project number  
2021

LEGEND

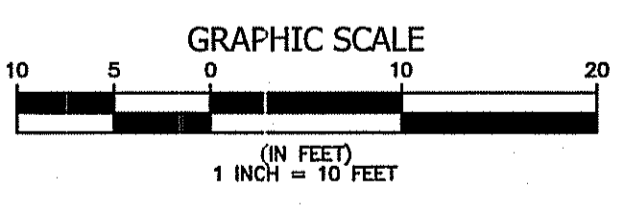
	SANITARY MANHOLE		CLEANOUT		MINOR CONTOUR
	DRAINAGE INLET		SIGN		MAJOR CONTOUR
	FIRE HYDRANT		ELECTRIC BOX		GAS
	WATER METER		MAIL BOX		WATER MAIN
	GAS METER		CAPPED ROD FOUND		CABLE
	ELECTRIC METER		MONUMENT FOUND		ELECTRIC & TELEPHONE
	WATER VALVE		BOLLARD		OVERHEAD ELECTRIC
	UTILITY POLE		AC UNIT		UNDERGROUND ELECTRIC
	LIGHT POST		CABLE BOX		SANITARY SEWER



- NOTES:**
- ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
  - PROPERTY LOCATED IN FLOOD ZONES AE (EL 8) & VE (EL 10), COMMUNITY NUMBER 345303 MAP NUMBER 34025C0456F, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONES AE (EL 9) & VE (EL 14) LIMWA, BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
  - PROPERTY CORNERS TO BE SET AT LATER DATE.

- REFERENCES USED:**
- FILED MAP, CASE #238-30
  - DEED BOOK 9358, PAGE 2093

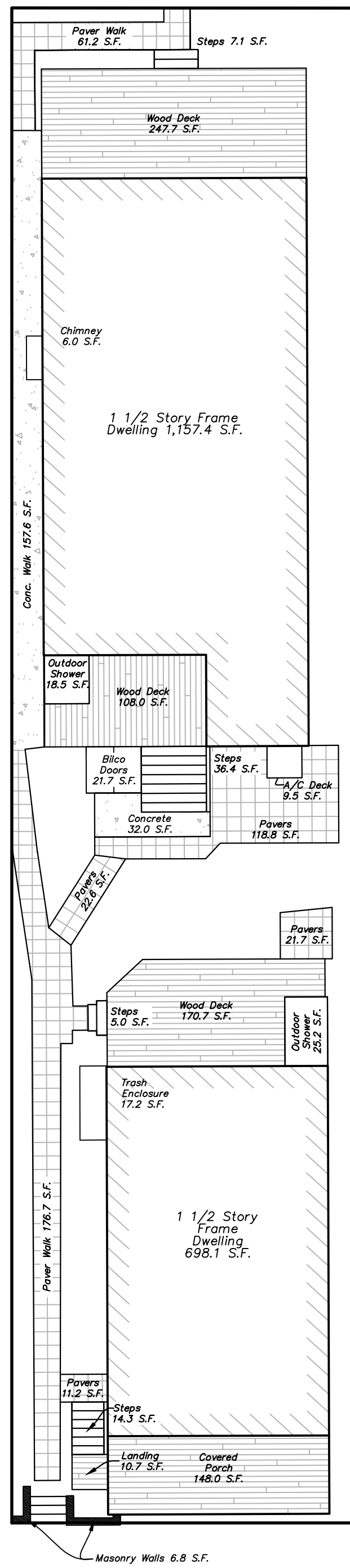
**PROPERTY DESCRIPTION:**  
 BEING KNOWN AS LOT 14 IN BLOCK 185 AS SHOWN ON A MAP ENTITLED "FINAL MAP OF BLOCK 185, LANDS OF AMERICAN TIMBER COMPANY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J." FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON NOVEMBER 9, 1990 AS MAP CASE #238-30.  
 ALSO BEING KNOWN AS LOT 14 IN BLOCK 185 ON THE OFFICIAL TAX MAP SHEET 31 OF BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.



OFFSET DIMENSIONS FROM BUILDINGS AND FENCES AS SHOWN HEREON ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES AND SETBACK LINES. THIS SURVEY SUBJECT TO ANY EASEMENT OF RECORD AND OTHER PERTINENT FACTS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON. ENVIRONMENTALLY SENSITIVE AREAS AND HAZARDOUS WASTE SITES, IF ANY, ARE NOT LOCATED BY THIS SURVEY. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ADOPTED BY THE N.J. STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS. NO LIABILITY IS ASSUMED BY THE CERTIFYING SURVEYOR FOR THE USE OF THIS SURVEY BY ANY PARTY NOT SHOWN ON THE CERTIFICATIONS HEREON, OR FOR THE USE OF SURVEY WITH SURVEY AFFIDAVIT. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

NO.	DATE	REVISION DESCRIPTION	BY
 <b>Lindstrom, Diessner &amp; Carr, P.C.</b> ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026			
<b>TOPOGRAPHIC SURVEY</b> <b>LOT 14 BLOCK 185</b>			
<b>WILLIAM H. BOOLLITTLE</b> PROFESSIONAL LAND SURVEYOR N.J. LIC. No. 246S03624000			
DRAWN BY:	JGK	SCALE:	1"=10'
DATE:	7/20/2020	SHEET:	1 OF 1
PROJECT:	20075	BOROUGH OF MANASQUAN	MONMOUTH COUNTY NEW JERSEY

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**EXISTING BUILDING COVERAGE**

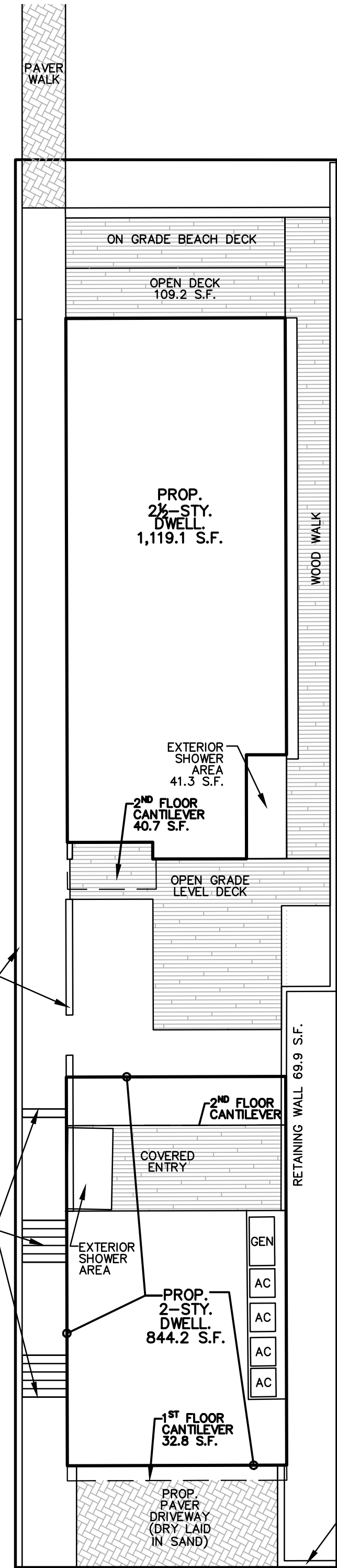
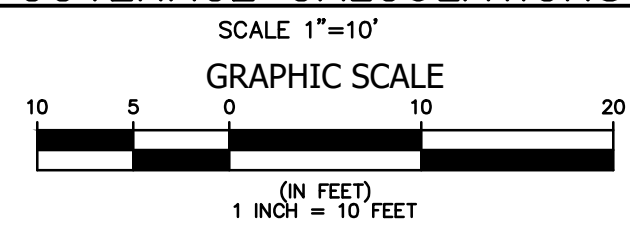
CHIMNEY	6.0 S.F.
1 1/2 STORY FRAME DWELLING	1,157.4 S.F.
OUTDOOR SHOWER	25.2 S.F.
1 1/2 STORY FRAME DWELLING COVERED PORCH	698.1 S.F.
<b>TOTAL</b>	<b>2,034.7 S.F.</b>

**EXISTING LOT COVERAGE**

STEPS	7.1 S.F.
WOOD DECK	247.7 S.F.
CHIMNEY	6.0 S.F.
1 1/2 STORY FRAME DWELLING	1,157.4 S.F.
CONC. WALK	157.6 S.F.
OUTDOOR SHOWER	18.8 S.F.
WOOD DECK	108.0 S.F.
STEPS	21.7 S.F.
BLOOD DOORS	9.5 S.F.
A/C DECK	32.0 S.F.
CONCRETE	32.0 S.F.
STEPS	5.0 S.F.
WOOD DECK	170.7 S.F.
OUTDOOR SHOWER	25.2 S.F.
TRASH ENCLOSURE	17.2 S.F.
1 1/2 STORY FRAME DWELLING	698.1 S.F.
STEPS	14.3 S.F.
LANDING	10.7 S.F.
COVERED PORCH	148.0 S.F.
MASONRY WALLS	6.8 S.F.
<b>TOTAL</b>	<b>2,897.9 S.F.</b>

**EXISTING COVERAGE CALCULATIONS DETAIL**



**PROPOSED BUILDING COVERAGE**

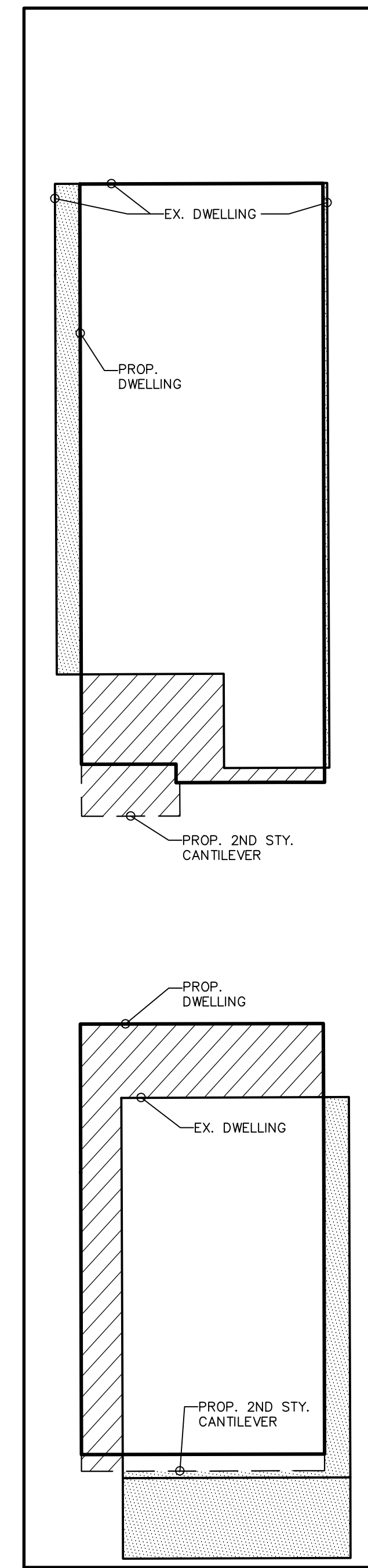
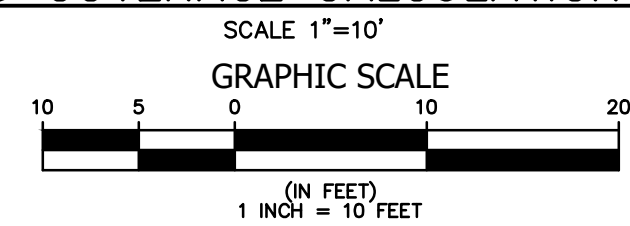
PROP. 2 1/2-STY. DWELL.	1,119.1 S.F.
EXTERIOR SHOWER AREA	41.3 S.F.
2ND FLOOR CANTILEVER	40.7 S.F.
PROP. 2-STY. DWELL.	844.2 S.F.
1ST FLOOR CANTILEVER	32.8 S.F.
<b>TOTAL</b>	<b>2,078.1 S.F.</b>

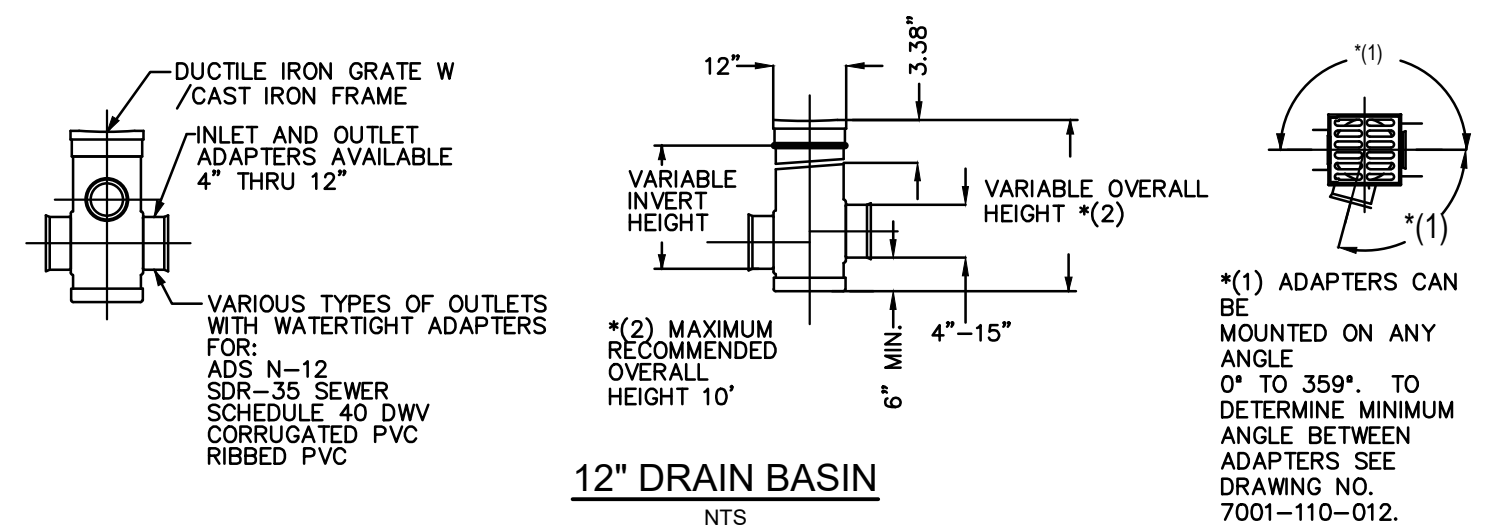
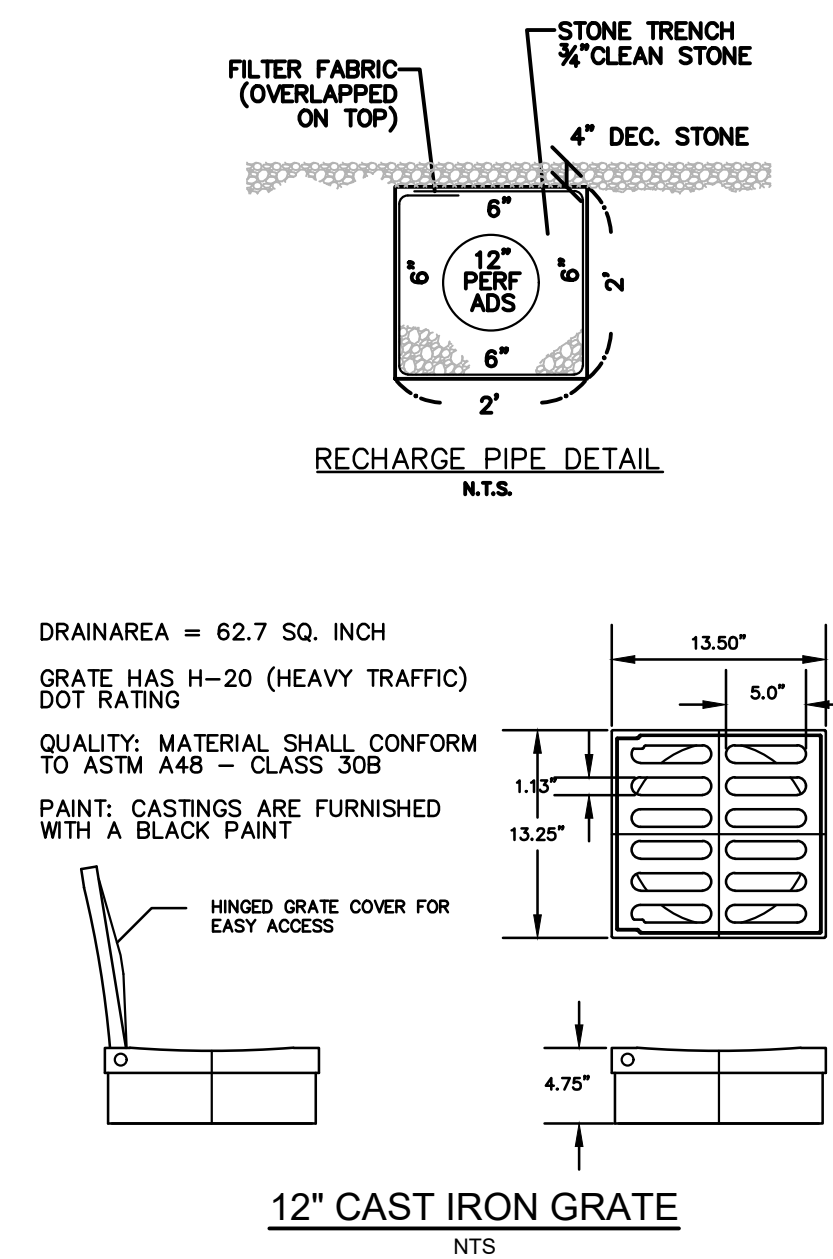
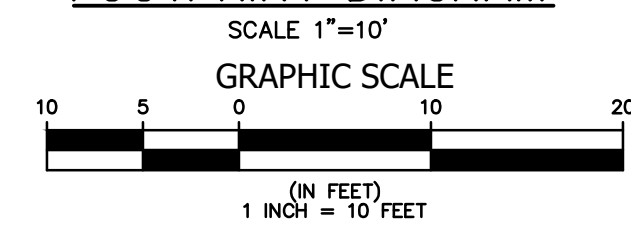
**PROPOSED LOT COVERAGE**

PROP. 2 1/2-STY. DWELL.	1,119.1 S.F.
EXTERIOR SHOWER AREA	41.3 S.F.
2ND FLOOR CANTILEVER	40.7 S.F.
PROPOSED RETAINING WALLS	90.4 S.F.
RETAINING WALL	69.9 S.F.
PROP. 2-STY. DWELL.	844.2 S.F.
1ST FLOOR CANTILEVER	32.8 S.F.
CONC. STEPS	40.8 S.F.
PROPOSED RETAINING WALL	10.3 S.F.
<b>TOTAL</b>	<b>2,289.5 S.F.</b>

**PROPOSED COVERAGE CALCULATIONS DETAIL**



**FOOTPRINT DIAGRAM**



**FLOOD HAZARD CONTROL ACT NOTES**

1. DECK:
  - A) THE DECK IS NOT ENCLOSED WITH WALLS EITHER ABOVE OR BELOW ITS FLOOR EXCEPT FOR PROTECTIVE OR DECORATIVE FENCING BANISTERS OR LATTICE WORK THAT ALLOW FLOODWATERS TO PASS FREELY.
  - B) THE DECK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
  - C) THE DECK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PERMIT-BY-RULE 16 AT N.J.A.C. 7:13-7.16
2. RESIDENTIAL CONSTRUCTION IN TIDAL FLOOD HAZARD AREA
  - A) THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
  - B) LOWEST FLOOR SHALL MEET THE FOLLOWING:
    1. THE ENCLOSURE IS USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE;
    2. THE FLOOR OF THE ENCLOSURE IS SITUATED AT OR ABOVE THE ADJOINING EXTERIOR GRADE ALONG AT LEAST ONE ENTIRE EXTERIOR WALL, IN ORDER TO PROVIDE POSITIVE DRAINAGE OF THE ENCLOSED AREA; AND
    3. THE ENCLOSURE IS CONSTRUCTED WITH FEMA COMPLIANT BREAKAWAY WALLS AND PERMANENT FLOOD OPENINGS THAT MEET THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23
    4. THE DEED FOR THE LOT ON WHICH THE ENCLOSURE OR GARAGE IS CONSTRUCTED IS MODIFIED TO:
      - i. EXPLAIN THAT THE ENCLOSURE OR GARAGE IS LIKELY TO BE INUNDATED BY FLOODWATERS, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
      - ii. DISCLOSE THE DEPTH OF FLOOD THAT THE ENCLOSURE OR GARAGE WOULD EXPERIENCE DURING THE FEMA 100-YEAR FLOOD AND FLOOD HAZARD AREA DESIGN FLOOD, IF EITHER ELEVATION IS KNOWN;
      - iii. PROHIBIT HABITATION OF THE ENCLOSURE OR GARAGE; AND
      - iv. EXPLAIN THAT CONVERTING THE ENCLOSURE OR GARAGE INTO A HABITABLE AREA MAY SUBJECT THE PROPERTY OWNER TO ENFORCEMENT ACTION BY THE NADEP;
  5. THE PROPOSED DRIVEWAY ASSOCIATED WITH HABITABLE BUILDING SHALL MEET THE REQUIREMENTS AT N.J.A.C. 7:13-12.6(f). THE DRIVEWAY WILL NOT BE CONSTRUCTED FOR A BUILDING THAT IS PART OF RESIDENTIAL SUBDIVISION OR MULTIUNIT DEVELOPMENT AND A DEED MODIFICATION WILL BE PROVIDED IN ACCORDANCE WITH 12.6(f), SINCE IT IS NOT FEASIBLE TO CONSTRUCT THE DRIVEWAY AT LEAST ONE FOOT ABOVE THE BFE OF 14.0' NAVD.

**V-ZONE NOTES**

1. BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER FOR DWELLING AND GARAGE AREA TO BE SET AT MIN. ELEVATION 15.0 MIN. (FEMA PRELIMINARY FIRM 14.0 PLUS 1 FOOT OF FREEBOARD TO BOTTOM OF GIRDER).
2. THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
3. ALL AREAS BELOW LOWEST HORIZONTAL GIRDER MIN. (EL. 15.0) SHALL BE NON BEARING BREAKAWAY WALLS IN ACCORDANCE WITH FEMA REQUIREMENTS.
4. LOWEST HORIZONTAL STRUCTURAL MEMBER SHALL BE SUPPORTED BY PILINGS DRIVEN TO A TIP ELEVATION OF -10.0 NAVD 88.
5. GARAGE SLAB (EL. 6.58) SHALL BE NON STRUCTURAL CONCRETE SLABS, NOT CONNECTED TO SUPPORT PILINGS IN ACCORDANCE WITH V-ZONE FEMA STANDARDS.
6. GARAGE DOORS SHALL BE NON BEARING AND BREAKAWAY DESIGN BELOW THE LOWEST HORIZONTAL STRUCTURAL MEMBER MIN. (EL. 15.0).
7. LOWER LEVEL BELOW EL. 15.0 SHALL ONLY BE USED FOR STORAGE AND PARKING AND SHALL NOT BE USED FOR HABITABLE SPACE.
8. THE PROPOSED GARAGE WILL BE ENCLOSED USING NON BEARING (FEMA APPROVED) BREAKAWAY WALLS.
9. ALL DUCT WORK, ELECTRICAL COMPONENTS AND MECHANICALS SERVING THE BUILDING SHALL BE LOCATED ABOVE THE DEED AND ALL SERVICE CONDUIT AND/OR PIPING FOR THE SUBJECT BUILDING SHALL NOT BE LOCATED ON THE BREAK-AWAY WALLS.
10. ALL STAIRWAY SYSTEMS FOR THE SUBJECT BUILDING BELOW THE DFE SHALL BE OF BREAK-AWAY CONSTRUCTION DESIGN AND SHALL BREAK CLEANLY AWAY DURING THE BASE FLOOD EVENT WITHOUT CAUSING DAMAGE TO THE BUILDING OR ITS FOUNDATION. THE STAIRWAY SYSTEMS SHALL BE DESIGNED TO RESIST FLOOD LOADS AND REMAIN IN PLACE DURING THE BASE FLOOD EVENT WITH THE ELEVATED BUILDING AND ITS FOUNDATION DESIGNED TO RESIST ANY FLOOD LOADS THAT ARE TRANSFERRED FROM THE STAIRS TO THE BUILDING.
11. THE BUILDING AND ANY ASSOCIATED DECKS, WHICH ARE LOCATED IN THE VE FLOOD ZONE, SHALL BE DESIGNED WITH A DEEP FOUNDATION (PILES OR COLUMNS) TO SUPPORT THE STRUCTURE IN THE EVENT OF SCOUR OR EROSION, AND THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER FOR THE ELEVATED STRUCTURE, INCLUDING GARAGE, SHALL BE ABOVE THE DFE.

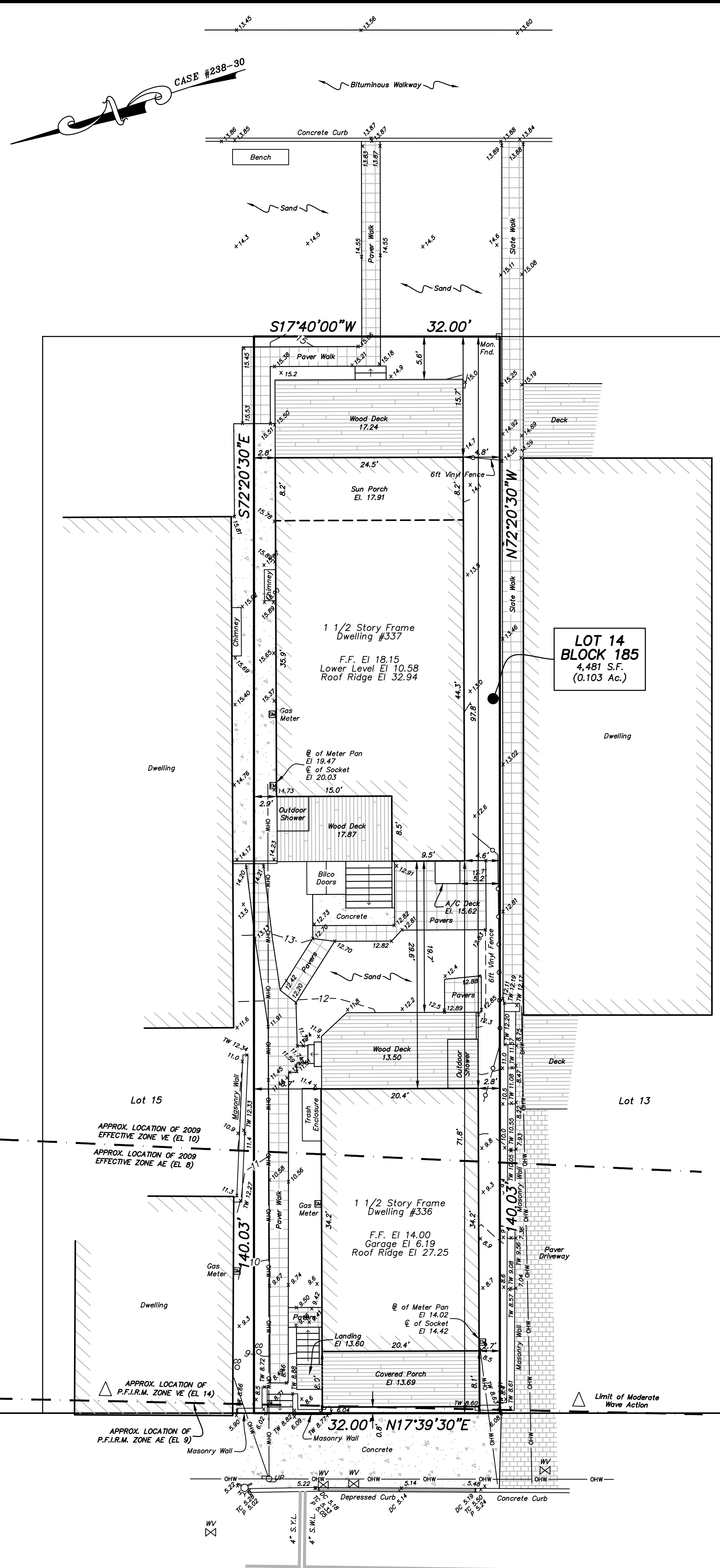
**CAFRA GENERAL NOTES:**

1. INDIGENOUS COASTAL PLANTS ARE ENCOURAGED TO BE USED WHEREVER FEASIBLE. NO PLASTIC LINERS SHALL BE USED IN LANDSCAPED OR GRAVEL AREAS. ALL LINERS SHALL BE MADE OF FILTER CLOTH OR OTHER PERMEABLE MATERIAL.
2. CROWN DRIVEWAY TO PITCH RUNOFF TO DRAIN ONTO PERMEABLE AREAS OF THE SITE OR USE OTHER PERMEABLE STONE.
3. PROPOSED SILT FENCE SHALL BE ERRECTED PRIOR TO CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION AND LANDSCAPING IS COMPLETE.
4. ALL CONSTRUCTION SHALL COMPLY WITH FEMA REQUIREMENTS AND FLOOD HAZARD CONTROL ACT REQUIREMENTS.
5. FLOOD VENTS SHALL BE INSTALLED IN GARAGE AND LOWER LEVEL IN ACCORDANCE WITH FEMA REQUIREMENTS.

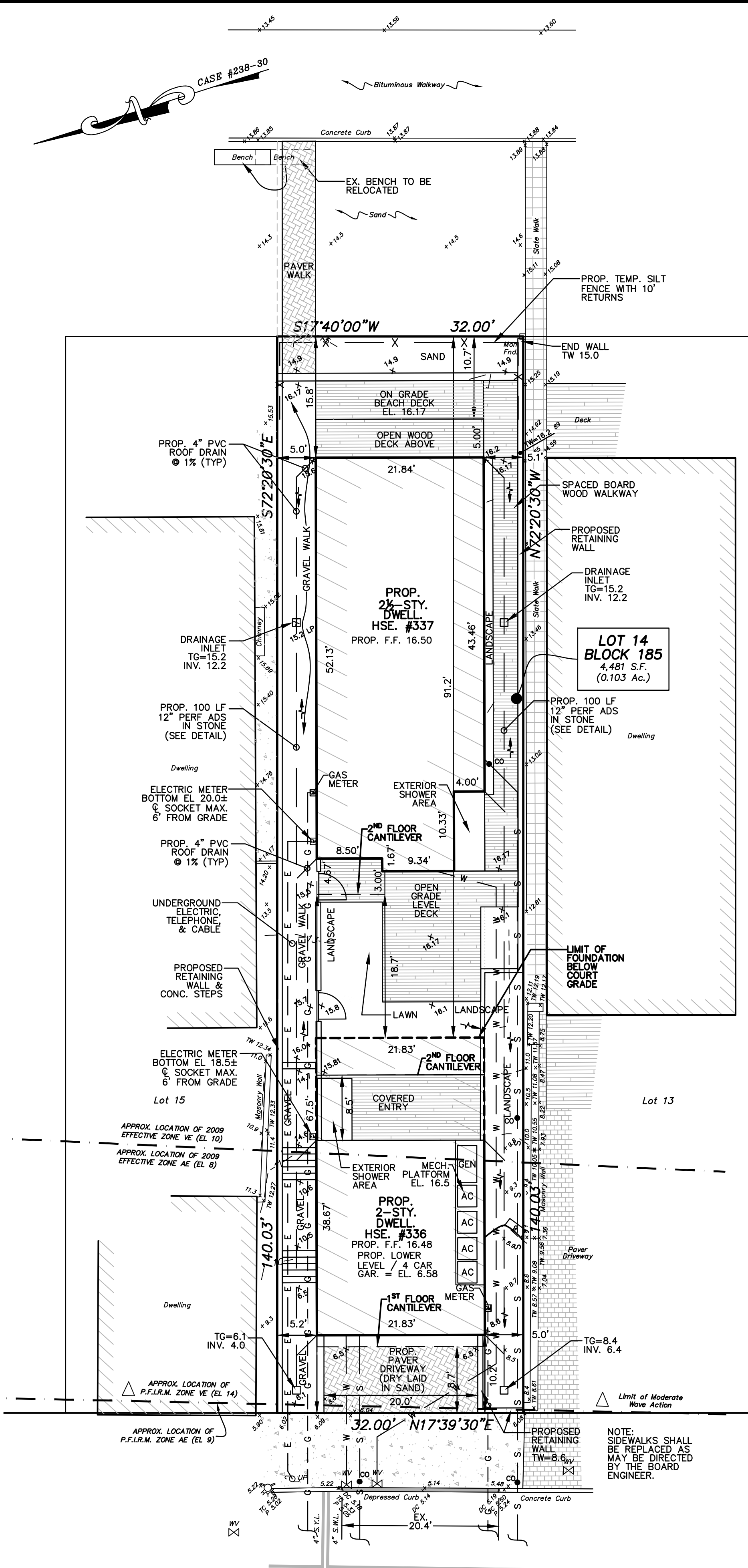
**FLOOD VENTS SHALL MEET THE FOLLOWING:**

1. THE INVERT OF EACH FLOOD VENT SHALL BE NO MORE THAN 12 INCHES ABOVE THE ADJOINING EXTERIOR GRADE OR INTERIOR SLAB.
2. THE INVERT OF AT LEAST HALF OF THE FLOOD VENTS SHALL BE NO MORE THAN 12 INCHES ABOVE THE FLOOR OF THE BUILDING.
3. THE COMBINED EFFECTIVE OPEN AREA OF THE FLOOD VENTS SHALL BE AT LEAST ONE SQUARE INCH PER SQUARE FOOT OF THE AREA OF THE FOOTPRINT OF THE BUILDING, UNLESS A SMALLER FEMA-APPROVED DEVICE WITH AN EQUIVALENT EFFECTIVE AREA IS UTILIZED; AND
4. THE FLOOD VENTS SHALL NOT BE BLOCKED AT ANY TIME, BUT SHALL PERMANENTLY REMAIN OPEN SO THAT THE FLOODWATERS CAN FREELY ENTER THE BUILDING TO BALANCE HYDROSTATIC PRESSURE DURING A FLOOD.
5. NO FLOOD VENT SHALL BE PLACED CLOSER THAN 3 FEET TO A GAS METER OR GAS CONSUMING APPLIANCE.
6. SEE ARCHITECTURAL PLANS FOR FLOOD VENT DETAILS AND MODEL.
7. FLOOD VENTS TO BE PROVIDED FOR ALL ENCLOSED AREAS OF THE LOWER LEVEL ON THE BASIS OF 1 SQ. IN. OF VENTING PER SQ. FT. OF ENCLOSURE.

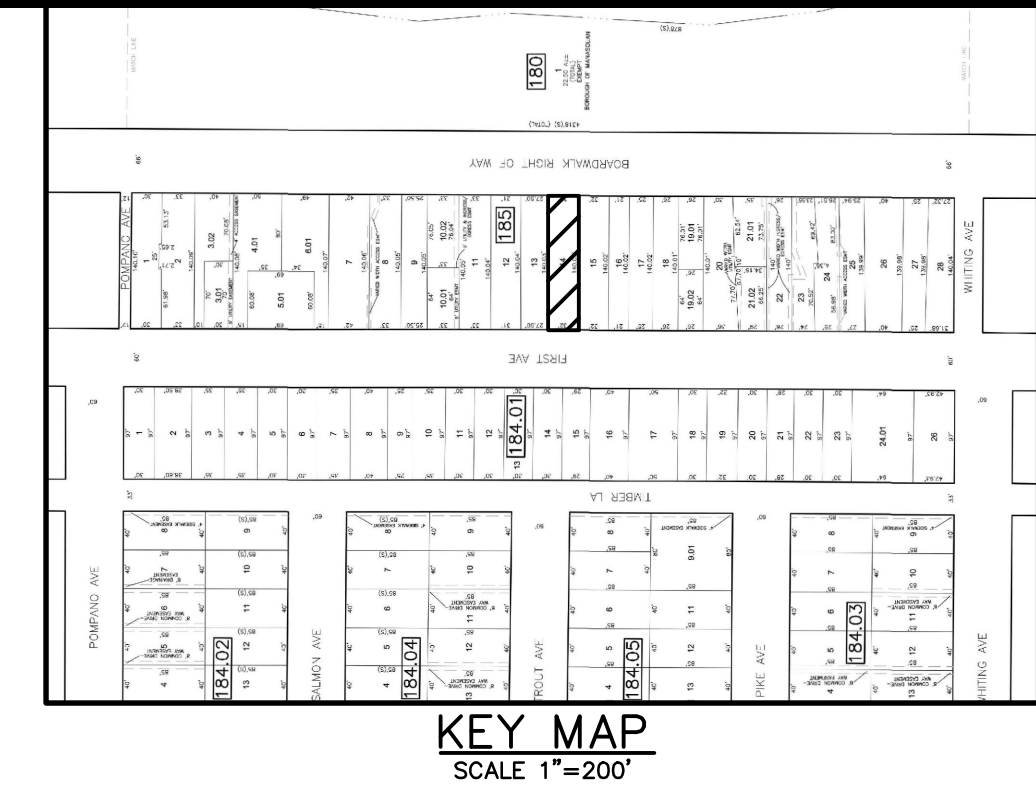
2	8/31/21	REVISED LOCATION OF MECH. PLATFORM & EXTERIOR SHOWER / REVISED RETAINING WALL	JAR
1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR
NO.	DATE	REVISION DESCRIPTION	BY
<b>Lindstrom, Diessner &amp; Carr, P.C.</b> ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax (732)477-8026			
<b>PLOT PLAN</b> <b>LOT 14 BLOCK 185</b>			
BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY			
CHARLES E. LINDSTROM PROFESSIONAL ENGINEER N.J. LIC. NO. 246E02473900 PROFESSIONAL PLANNER N.J. LIC. NO. 33U00233300		DRAWN BY: JAR	SCALE: 1"=20'
		DATE: 12/31/2020	SHEET: 2 OF 2
		PROJECT: 20075	



**EXISTING CONDITIONS PLAN**  
SCALE 1"=10'



**PROPOSED DEVELOPMENT PLAN**  
SCALE 1"=10'



**GENERAL NOTES:**

1. SURVEY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY LOT 14 BLOCK 185 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY." PREPARED BY LINDSTROM, DIESSNER AND CARR P.C. DATED 7/20/2020. WILLIAM H. DOOLITTLE P.L.S. FOR JANET & SCOTT CINFIO.
2. ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
3. PROPERTY LOCATED IN FLOOD ZONES AE (EL 8) & VE (EL 10). COMMUNITY NUMBER 345303 MAP NUMBER 3402500456F, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONES AE (EL 9) & VE (EL 14) LIMWA, BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
4. UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION.
5. FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
6. THERE ARE NO WETLANDS ON SITE.
7. THERE IS NO BELOW GRADE BASEMENT PROPOSED.
8. A FLOOR WITH A FLOOR THAT IS NOT 1 FOOT ABOVE THE BFE IS NOT PERMITTED.
9. ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
10. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND EACH DWELLING SHALL HAVE SEPARATE UTILITIES.

**OWNER/APPLICANT:**  
JANET & SCOTT CINFIO  
NJDMDC, LLC  
217 HORSEBACK HOLLOW  
AUSTIN, TX 78732

PROPERTY IS LOCATED IN THE R-4 DISTRICT  
**FIRST AVENUE HOUSE #336**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	10 FT.	0.8 FT.**	8.7 FT.**
SIDE SETBACK NORTH	5 FT.	8.7 FT.**	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	3.7 FT.**	5.0 FT.
REAR SETBACK	15 FT.	97.8 FT.	91.2 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT <sup>(1)</sup>	33 FT.	21.77 FT.	31.79 FT.
	2 Sty	1 1/2 Sty	2 Sty

VARIANCE REQUESTED FOR STANDBY GENERATOR IN SIDE YARD (SECT. 35-11.8)

PROPERTY IS LOCATED IN THE R-4 DISTRICT  
**OCEAN FRONT HOUSE #337**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	10 FT.	15.7 FT.	15.8 FT. DWELL; 10.7 FT. DECK**
SIDE SETBACK NORTH	5 FT.	2.8 FT.**	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	4.6 FT.	5.1 FT.
REAR SETBACK	15 FT.	71.8 FT.	67.5 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	18.7 FT.**
MAX. HEIGHT <sup>(2)</sup>	33 FT.	19.07 FT.	32.58 FT.
	2 1/2 Sty	1 1/2 Sty	2 1/2 Sty

\* EXISTING NON-CONFORMING  
\*\* VARIANCE REQUESTED

VARIANCE REQUESTED FOR DRIVEWAY CURB CUT (SECT 35-7.7c)  
REQUIRED 20 FEET MAX - EXISTING 20.4 FT. AT CURB LINE \*\*  
DRIVEWAY WIDTH 20' PROP.

**LEGEND:**

- 47- EXISTING CONTOUR
- 148- PROPOSED CONTOUR
- 123.45 EXISTING SPOT GRADE
- 123.45 PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOB TOP OF BLOCK

NO.	DATE	REVISION DESCRIPTION	BY
3	8/31/21	REVISED LOCATION OF MECH. PLATFORM & EXTERIOR SHOWER / REVISED RETAINING WALL	JAR
2	6/3/21	REVISED PER ZONING OFFICER DENIAL LETTER 5/27/21	JAR
1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR

**Lindstrom, Diessner & Carr, P.C.**  
ENGINEERING ♦ SURVEYING ♦ PLANNING  
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026

**PLOT PLAN**  
LOT 14 BLOCK 185

**CHARLES E. LINDSTROM**  
PROFESSIONAL ENGINEER N.J. LIC. NO. 246E02473900  
PROFESSIONAL PLANNER N.J. LIC. NO. 33U00233300

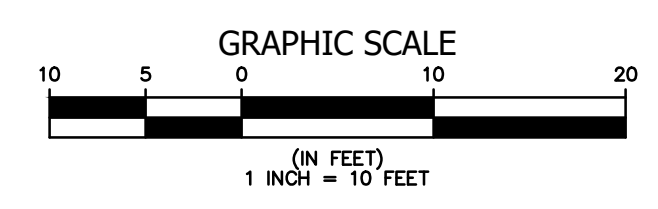
BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY

DRAWN BY:	SCALE:	DATE:	SHEET:	PROJECT:
JAR	1"=20'	12/31/2020	1 OF 2	20075

**REFERENCES USED:**  
- FILED MAP, CASE #238-30  
- DEED BOOK 9358, PAGE 2093

**PROPERTY DESCRIPTION:**  
BEING KNOWN AS LOT 14 IN BLOCK 185 AS SHOWN ON A MAP ENTITLED "FINAL MAP OF BLOCK 185, LANDS OF AMERICAN TIMBER COMPANY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J." FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON NOVEMBER 9, 1990 AS MAP CASE #238-30.

ALSO BEING KNOWN AS LOT 14 IN BLOCK 185 ON THE OFFICIAL TAX MAP SHEET 31 OF BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.



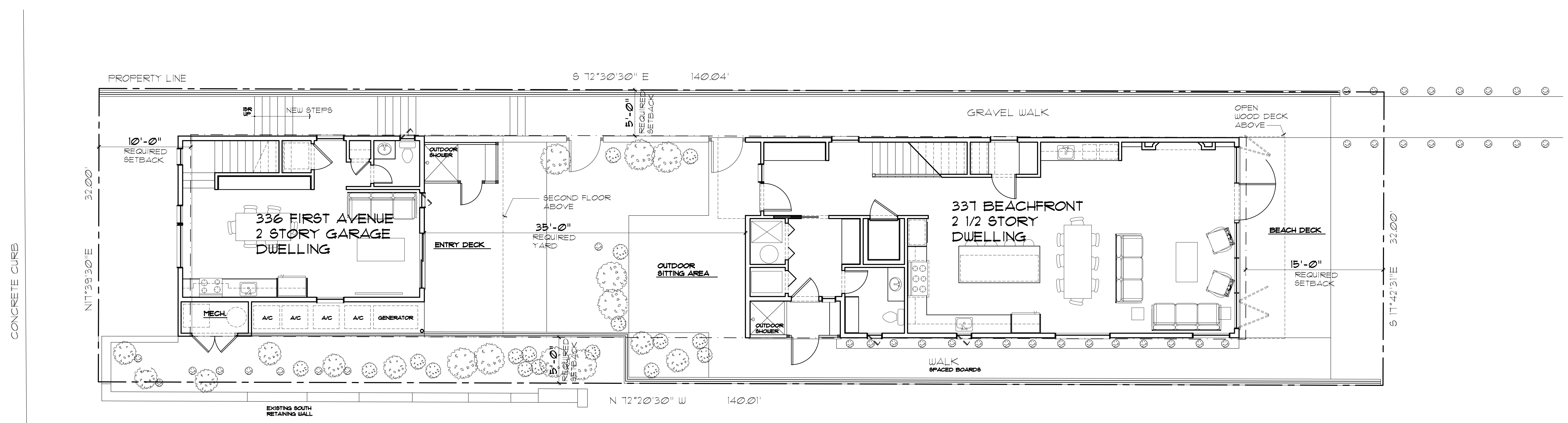
revisions	date
1.	
2.	
3.	
4.	

project number  
**2012**

**Site Plan Legend:**

— PROPERTY LINE  
- - - SETBACK LINE

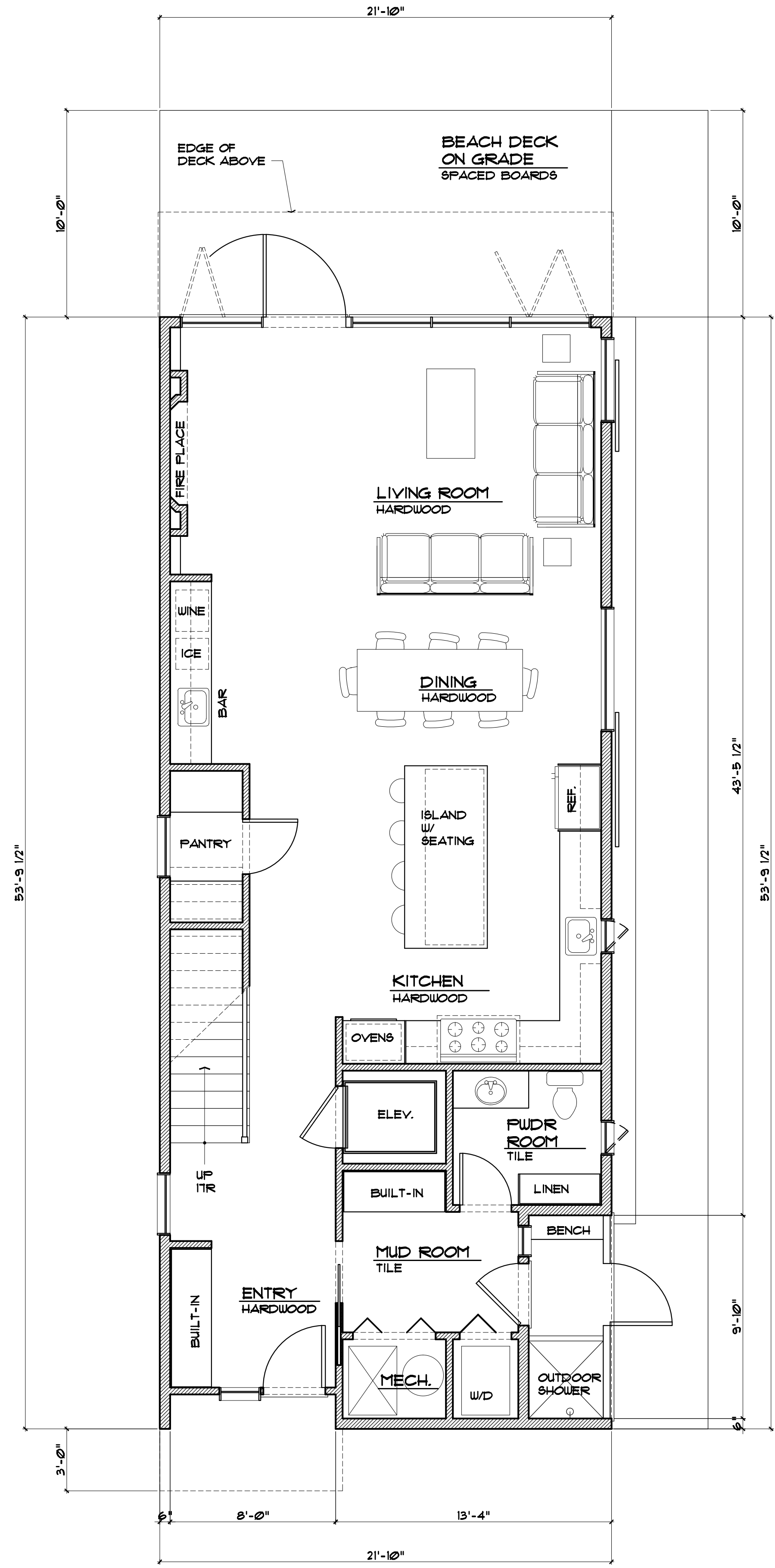
Plan North:	True North:



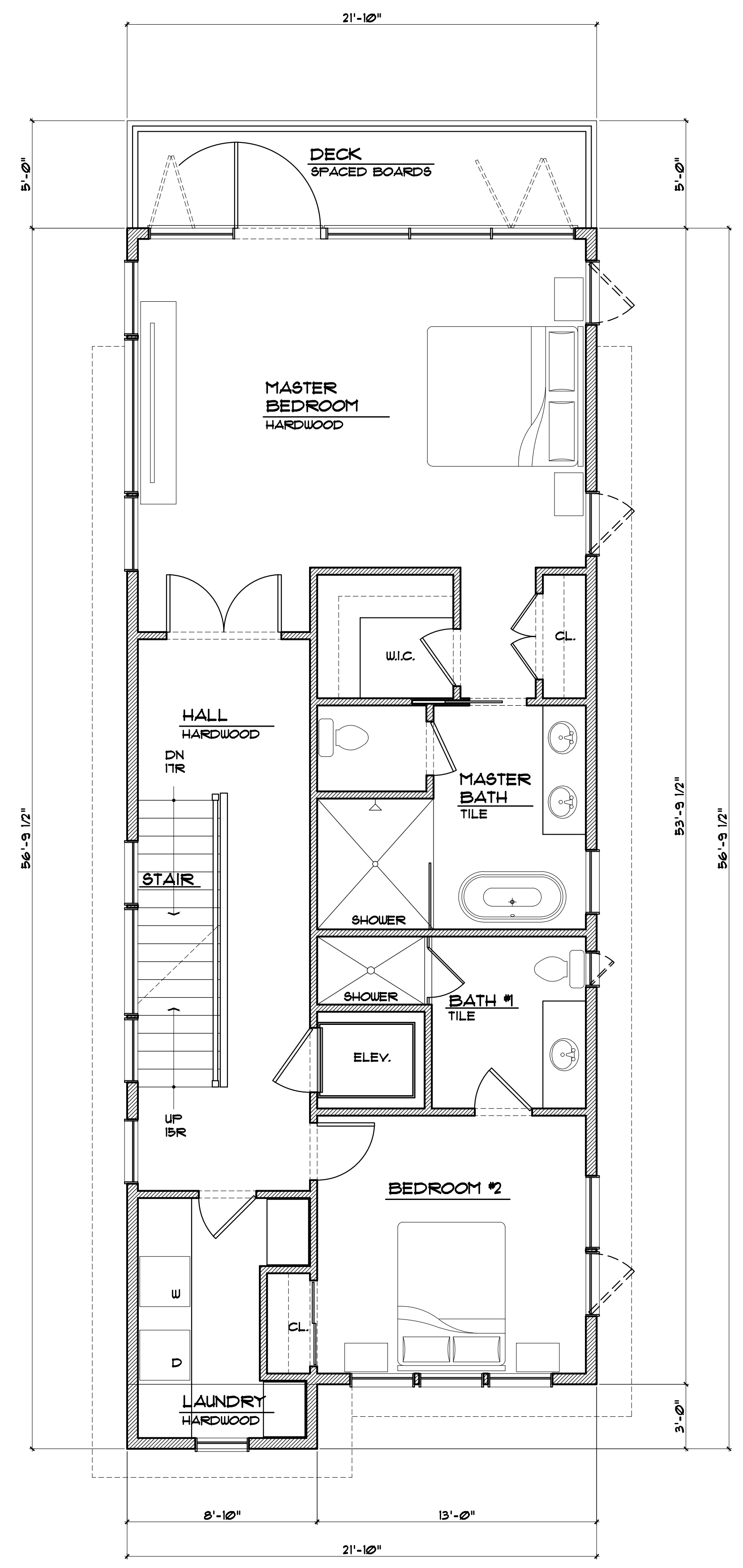
Site Plan  
SCALE: 3/16" = 1'-0"

revisions	date
1.	
2.	
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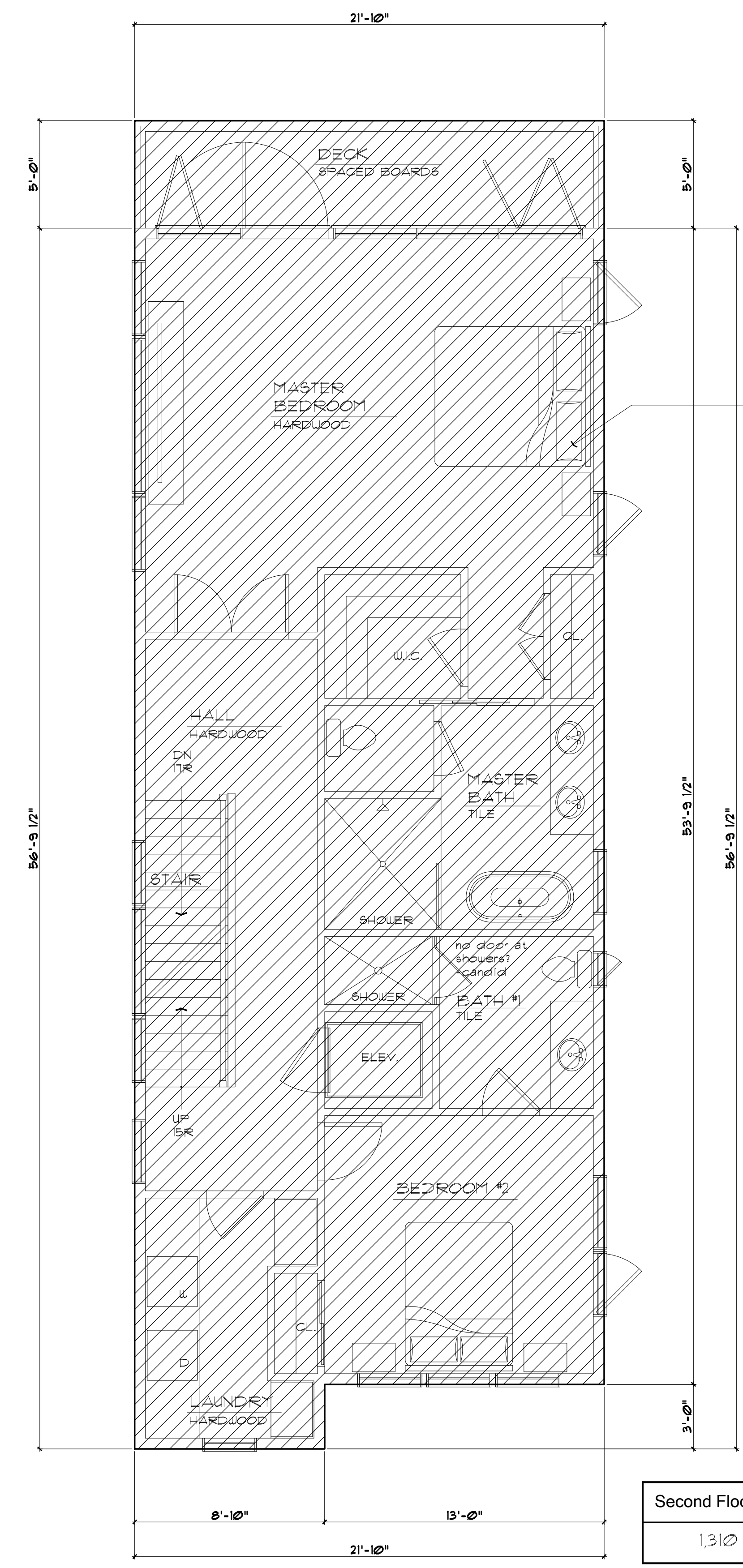
project number  
**2012**



1  
2  
337 Beachfront  
First Floor Plan  
SCALE: 1/4" = 1'-0"



2  
2  
337 Beachfront  
Second Floor Plan  
SCALE: 1/4" = 1'-0"



3  
2  
337 Beachfront  
Second Floor Plan Area Diagram  
SCALE: 1/4" = 1'-0"

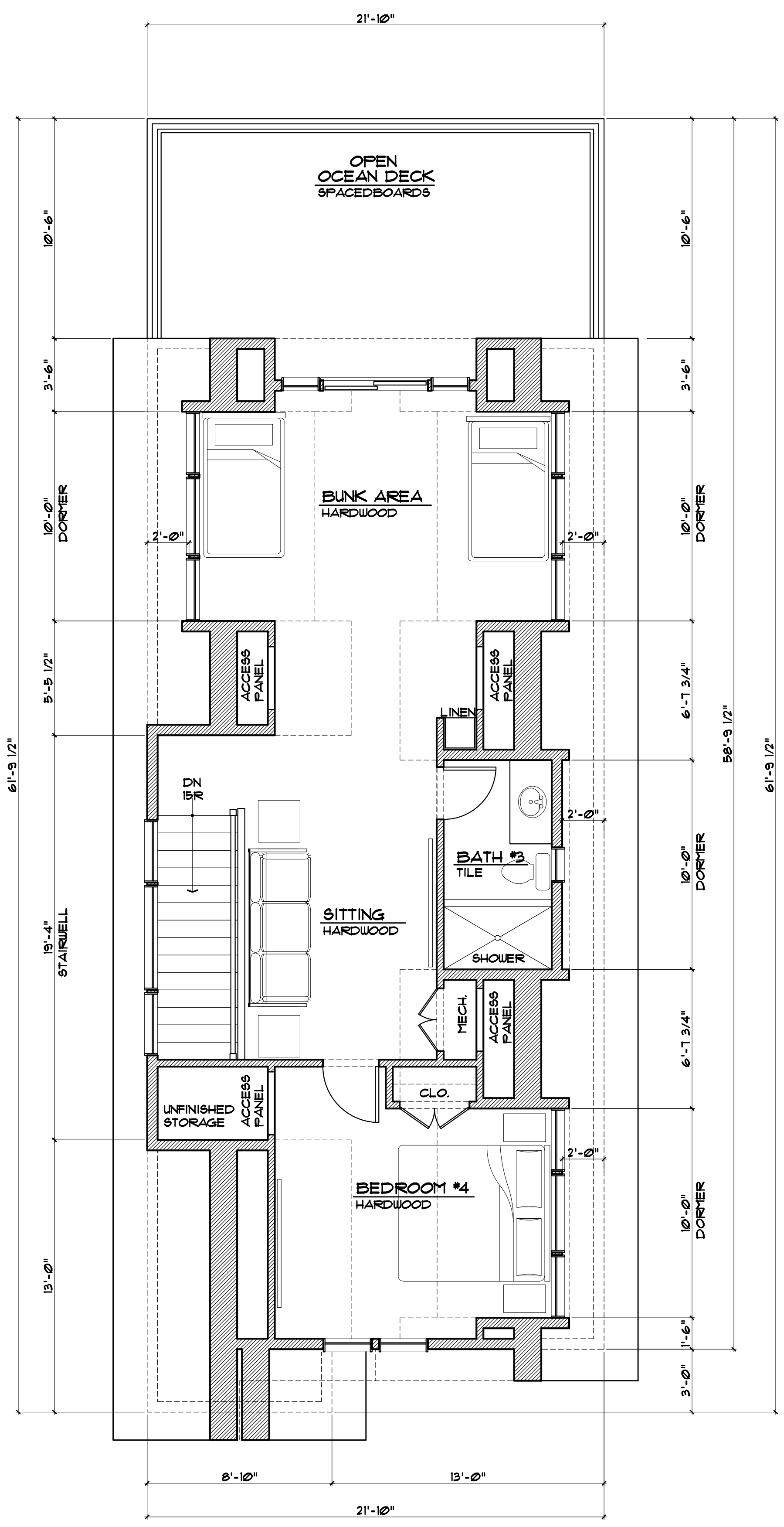
Second Floor Area:  
1,310 S.F.

SECOND FLOOR AREA INCLUSIVE OF COVERED PORCH

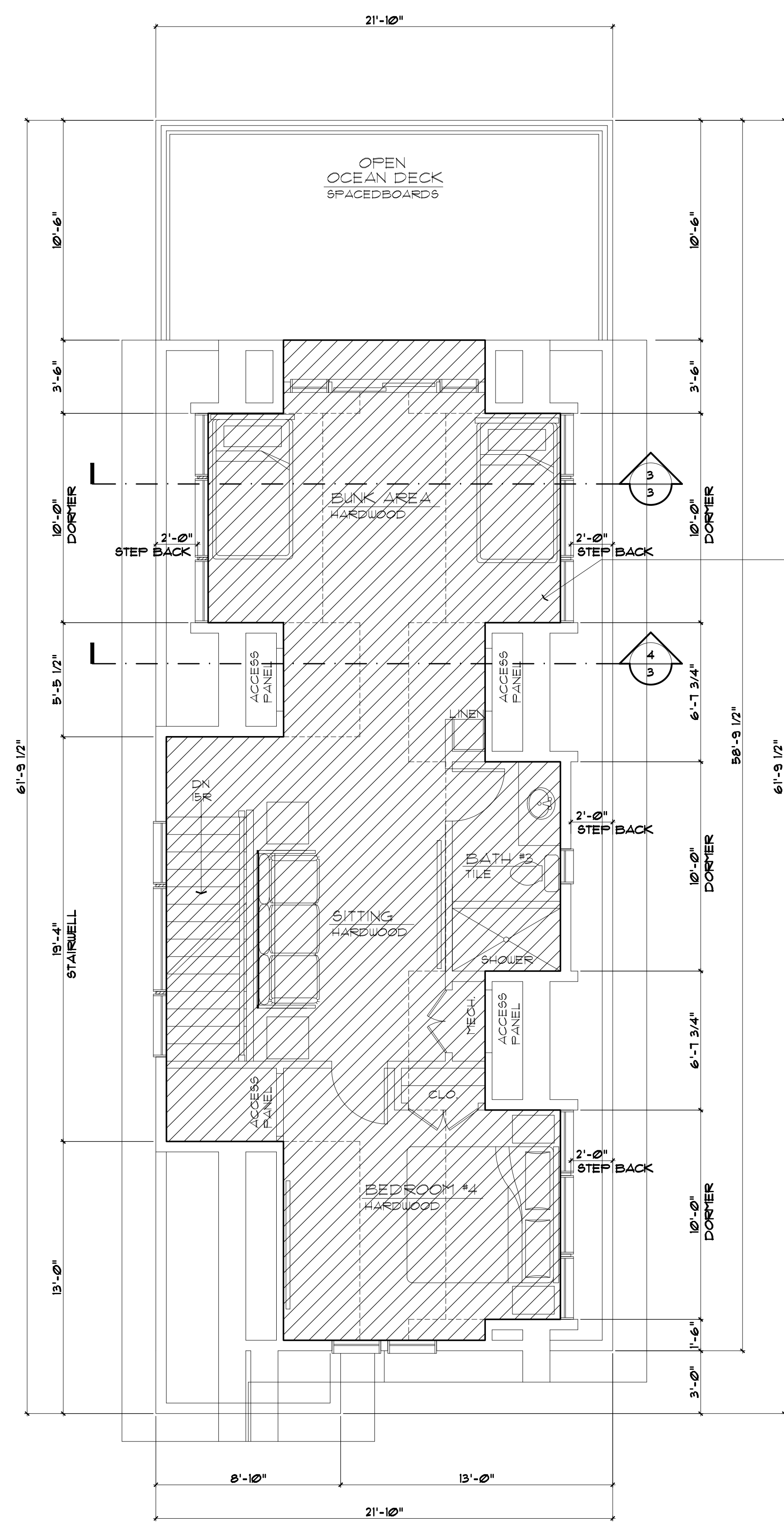


revisions	date
1.	
2.	
3.	
4.	

project number  
2012



1  
3  
337 Beachfront  
Finished Attic Floor Plan  
SCALE: 1/4" = 1'-0"



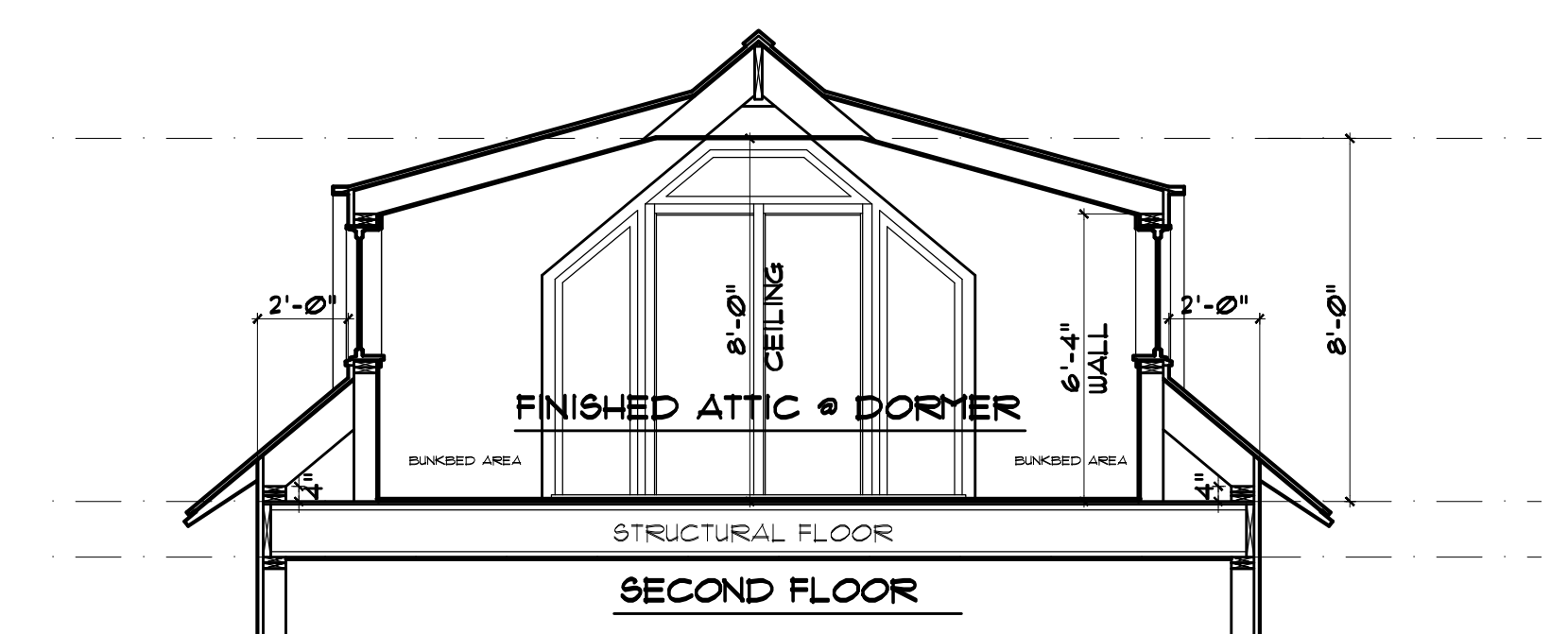
2  
3  
337 Beachfront  
Finished Attic Floor Plan Showing  
Area of Five Feet or Greater Headroom  
SCALE: 1/4" = 1'-0"

**Half Story Calculation**

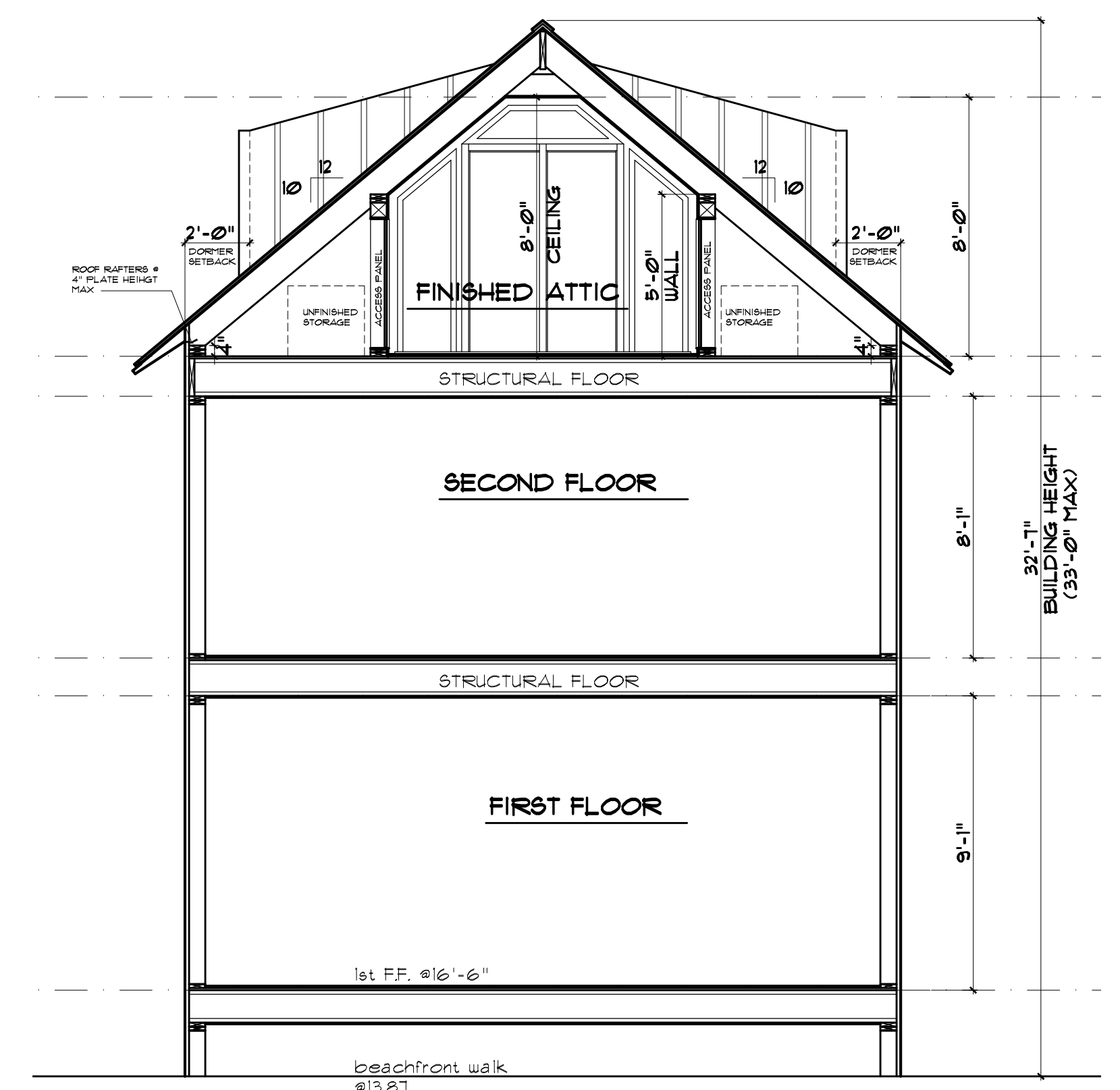
713 S.F.

THE FINISHED AREA OF THE ATTIC WHERE THE INTERSECTION OF THE ROOF RAFTERS AND THE EXTERIOR WALL OCCURS WITHIN FOUR INCHES OF THE FLOOR/CEILING SYSTEM, AND IN WHICH SPACE THE MAXIMUM FLOOR AREA AT A CEILING HEIGHT OF FIVE FEET OR MORE, INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES (713 S.F.) OCCUPIES 54.4% OF THE SQUARE FOOTAGE DIRECTLY BELOW (1310 S.F.) INCLUSIVE OF ROOFED OVER PORCHES. 60% IS THE MAXIMUM ALLOWABLE

HATCH REPRESENTS THE FINISHED AREA OF ATTIC IN WHICH THERE IS A CEILING HEIGHT OF FIVE FEET OR MORE, INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES



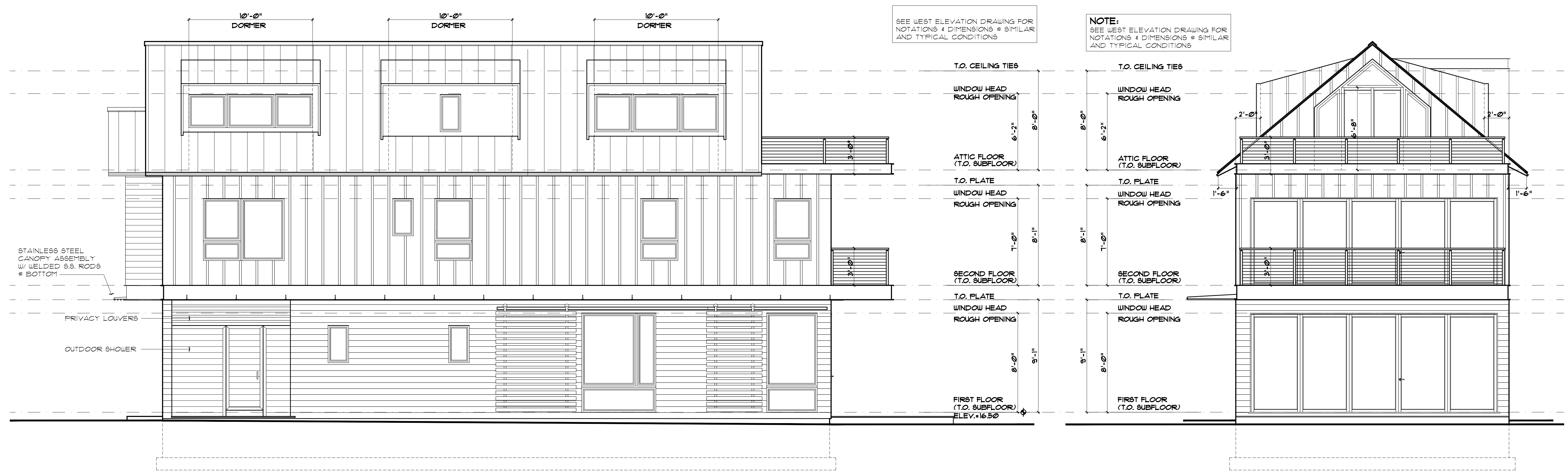
3  
3  
337 Beachfront  
Section @ Garret Dormer  
SCALE: 1/4" = 1'-0"



4  
3  
337 Beachfront  
Building Section  
SCALE: 1/4" = 1'-0"

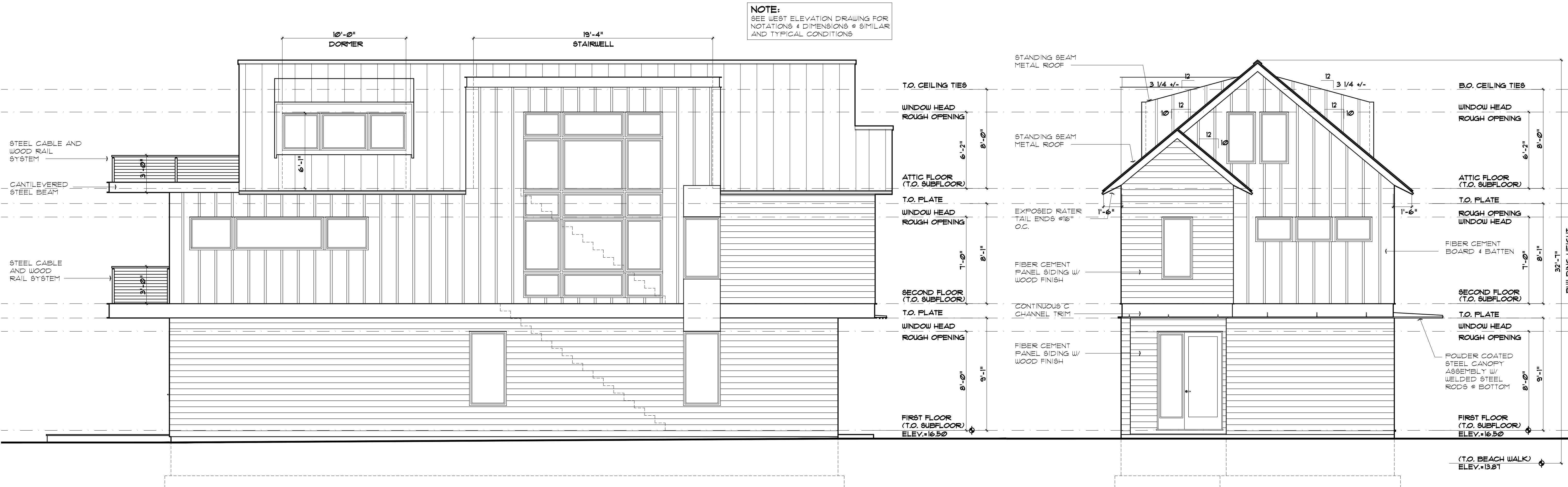
revisions	date
1.	
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3.	
4.	

project number  
2012



337 Beachfront  
South Elevation  
SCALE: 1/4" = 1'-0"

337 Beachfront  
East Elevation  
SCALE: 1/4" = 1'-0"

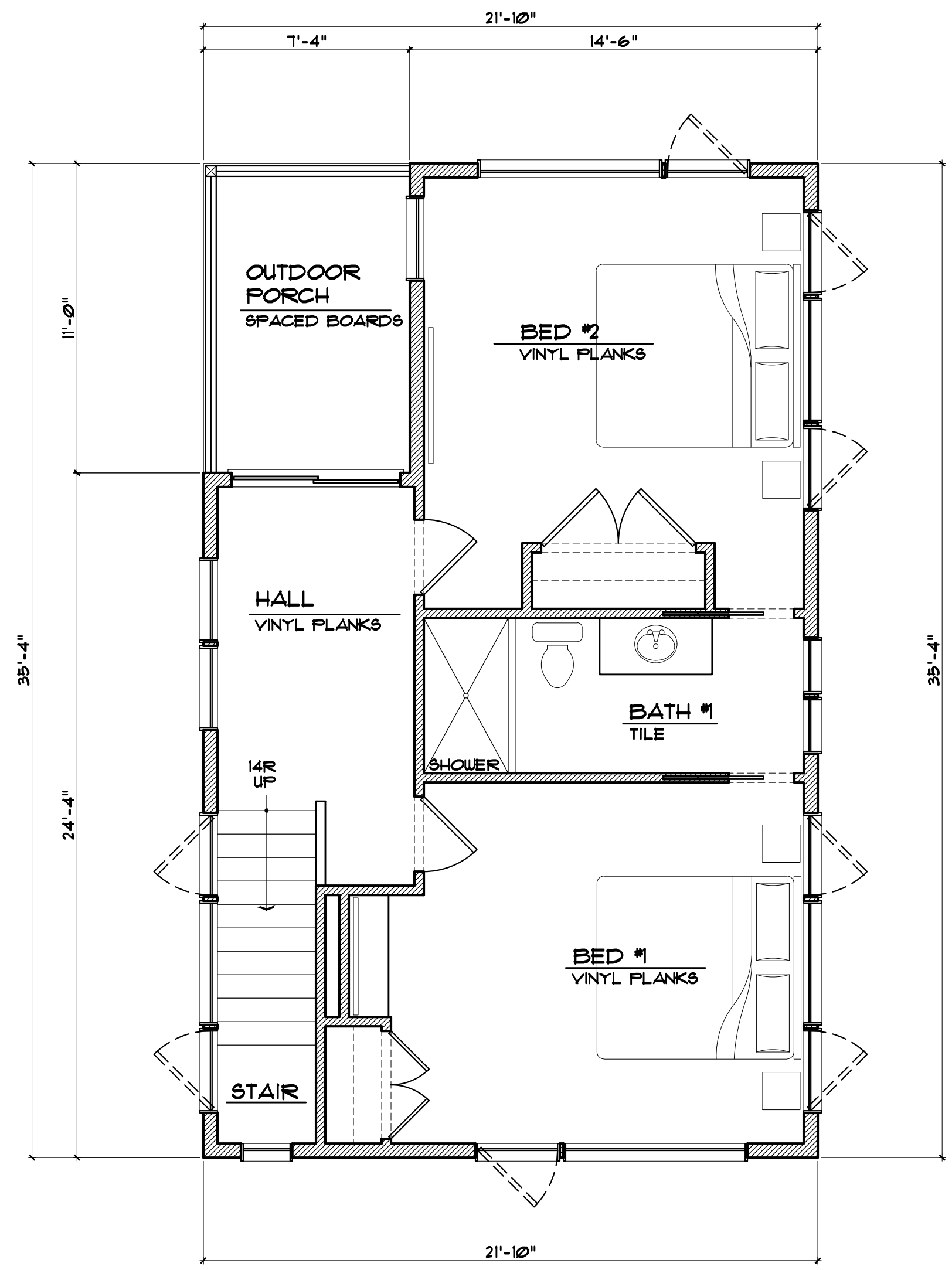


337 Beachfront  
North Elevation  
SCALE: 1/4" = 1'-0"

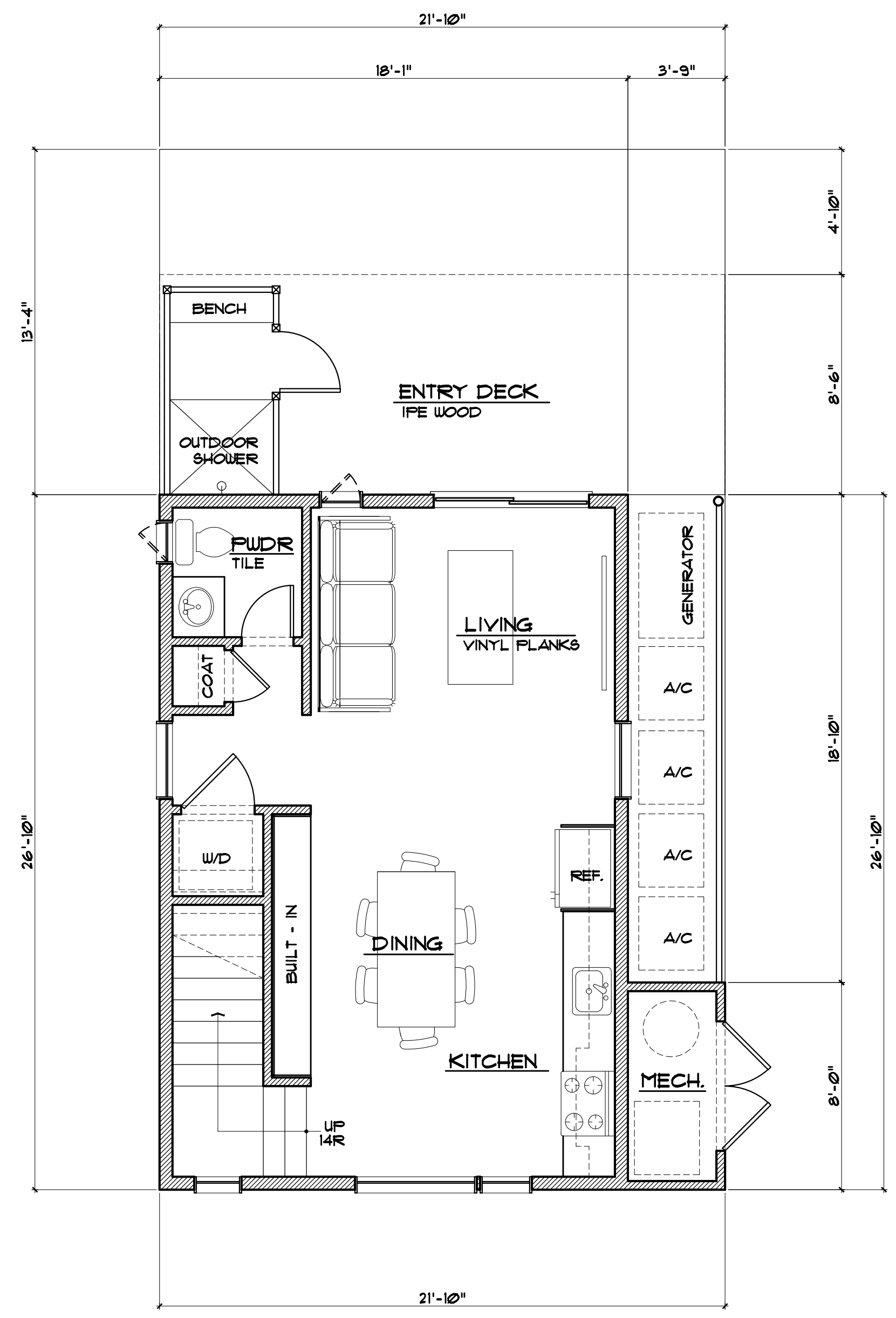
337 Beachfront  
West Elevation  
SCALE: 1/4" = 1'-0"

revisions	date
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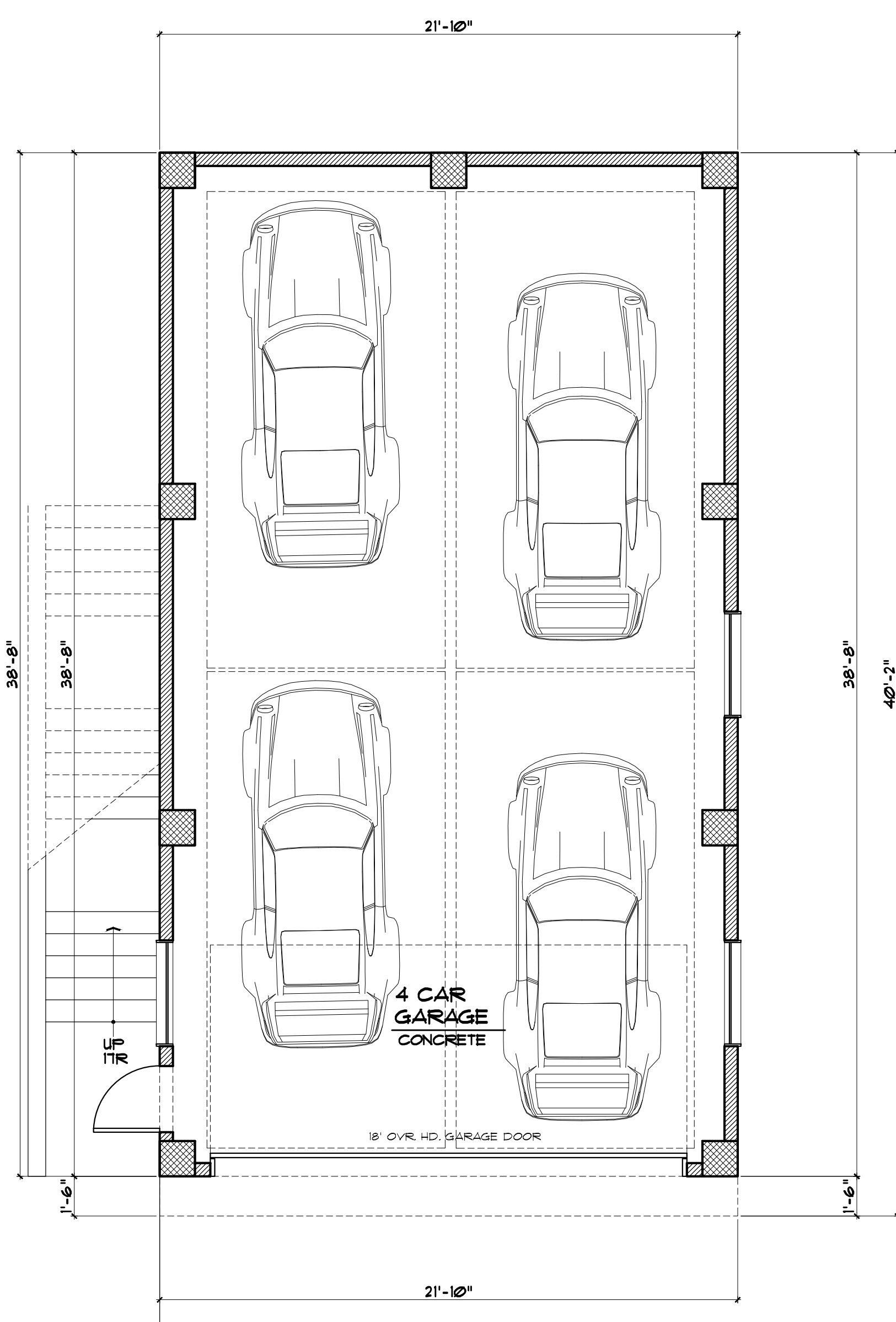
project number  
**2012**



336 First Avenue  
Second Floor Plan  
SCALE: 1/4" = 1'-0"



336 First Avenue  
First Floor Plan  
SCALE: 1/4" = 1'-0"

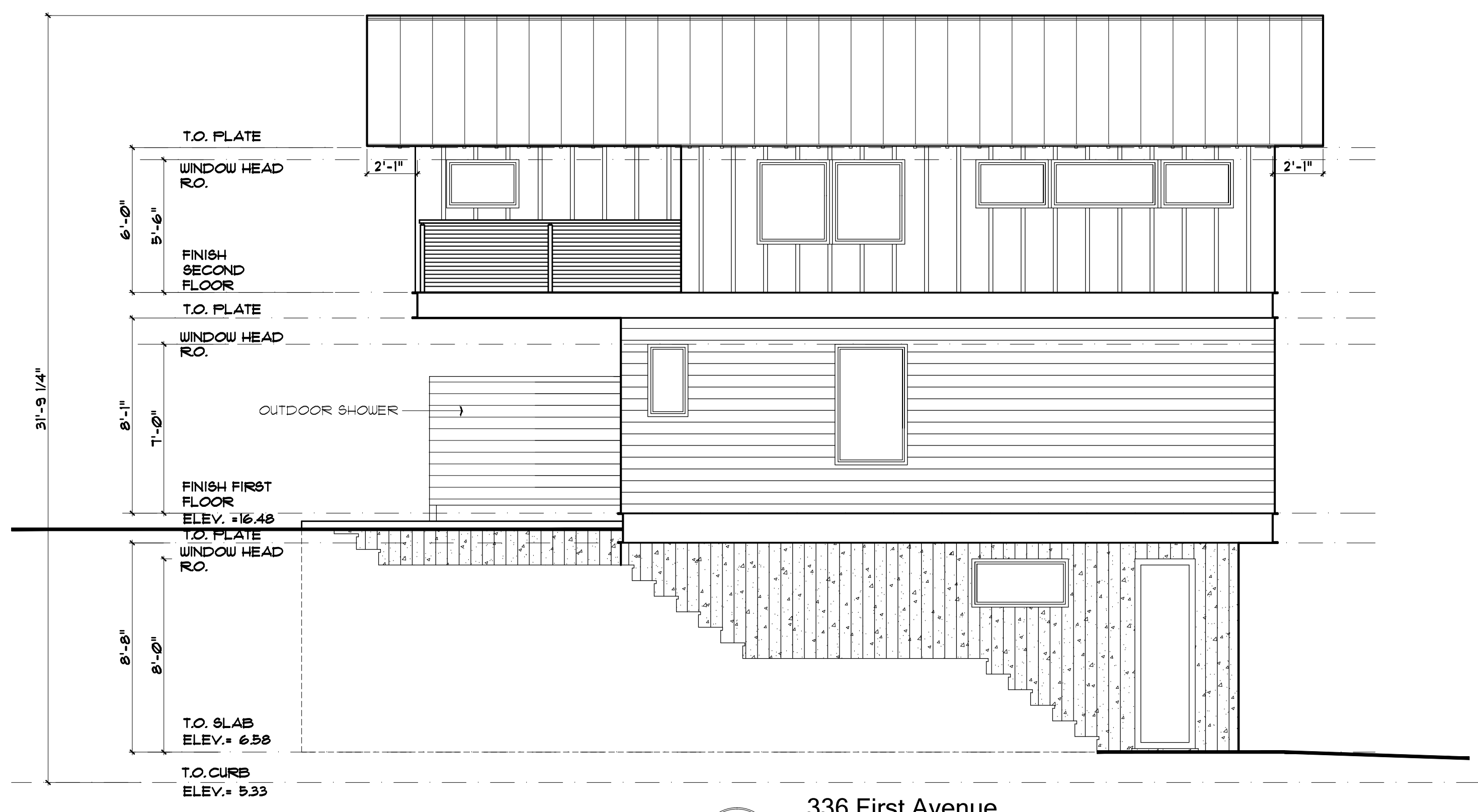


336 First Avenue  
Grade Level Plan  
SCALE: 1/4" = 1'-0"

revisions	date
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3.	
4.	

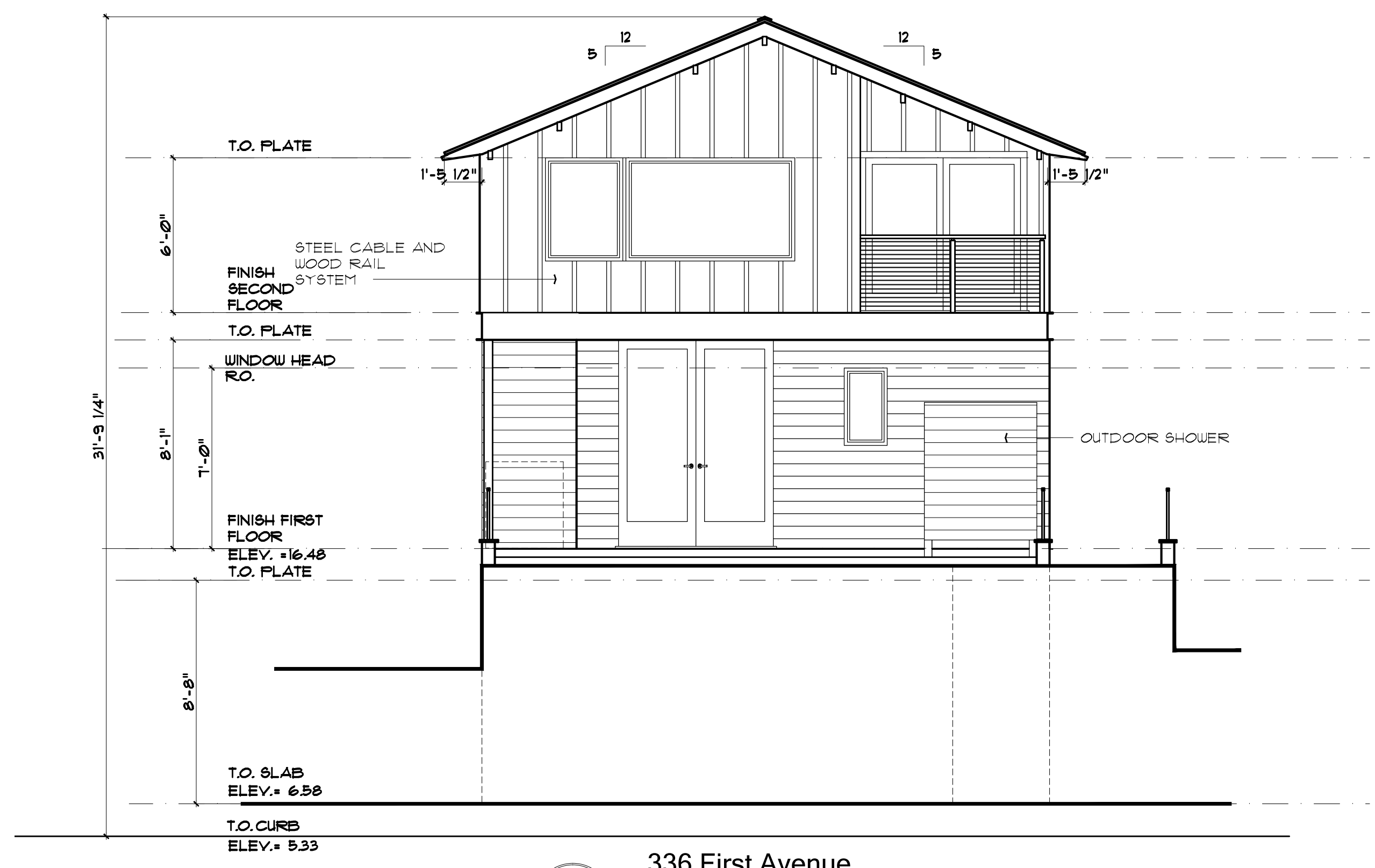
project number  
2012

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS @ SIMILAR AND TYPICAL CONDITIONS



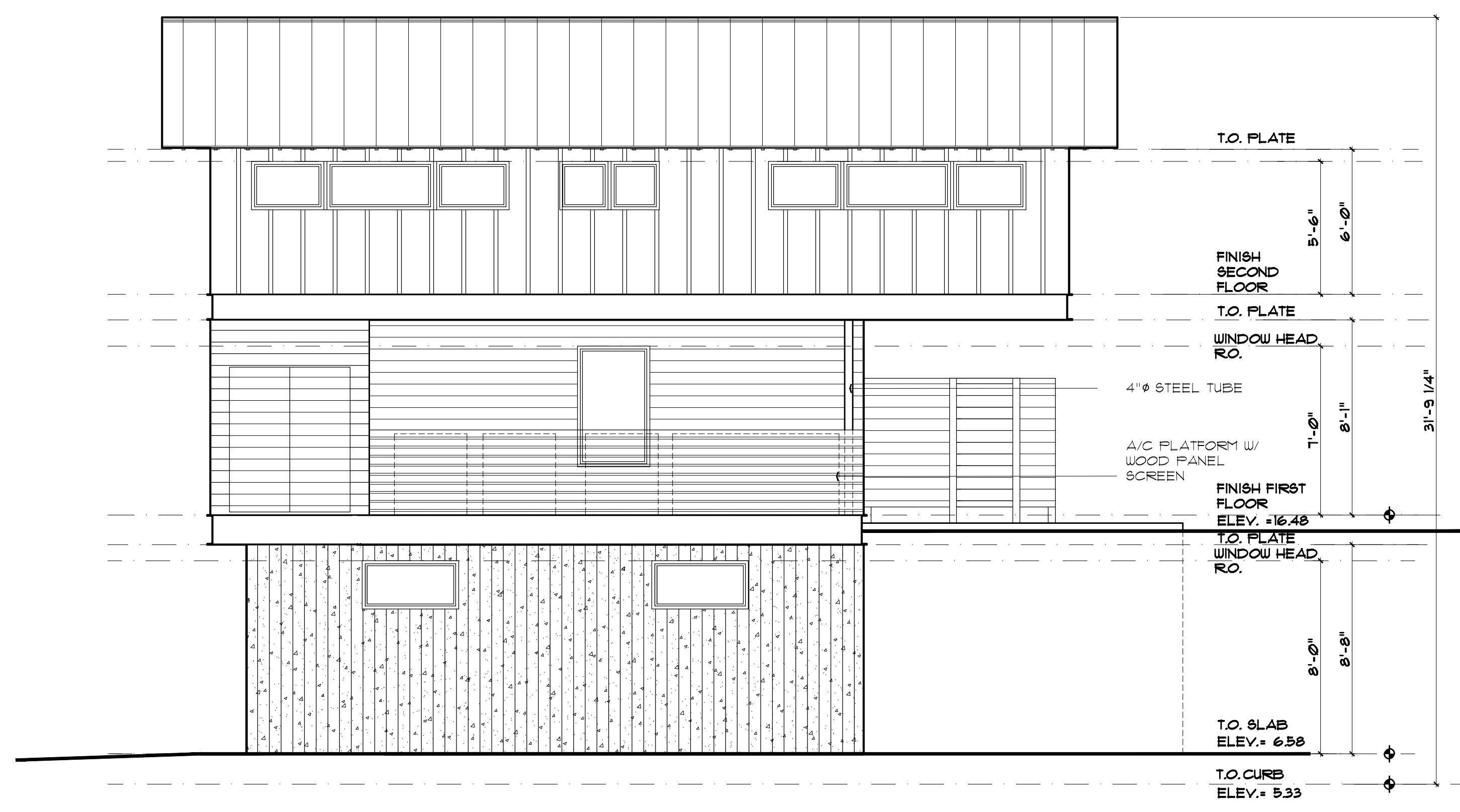
4  
6  
336 First Avenue  
North Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS @ SIMILAR AND TYPICAL CONDITIONS

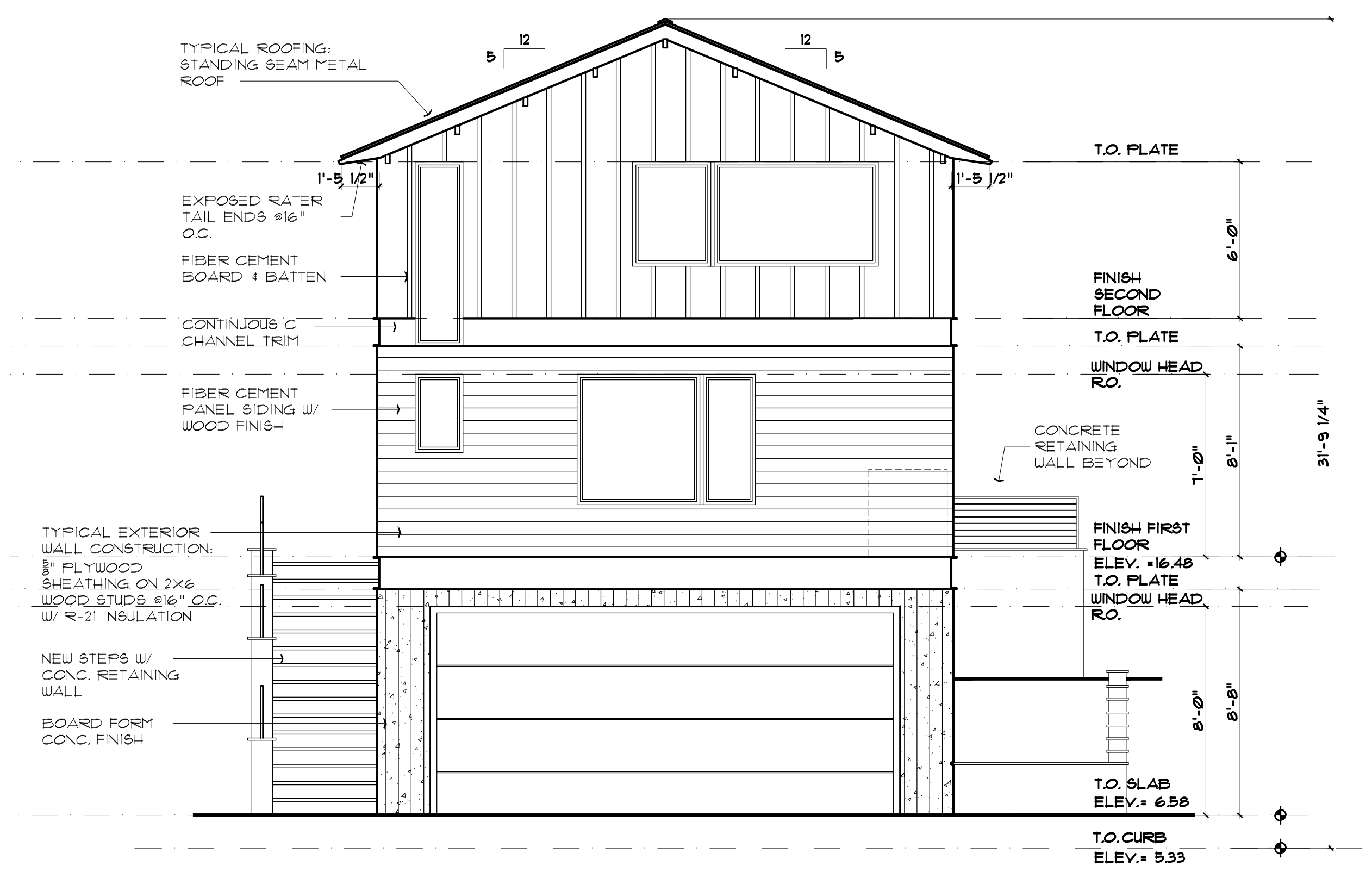


3  
6  
336 First Avenue  
East Elevation  
SCALE: 1/4" = 1'-0"

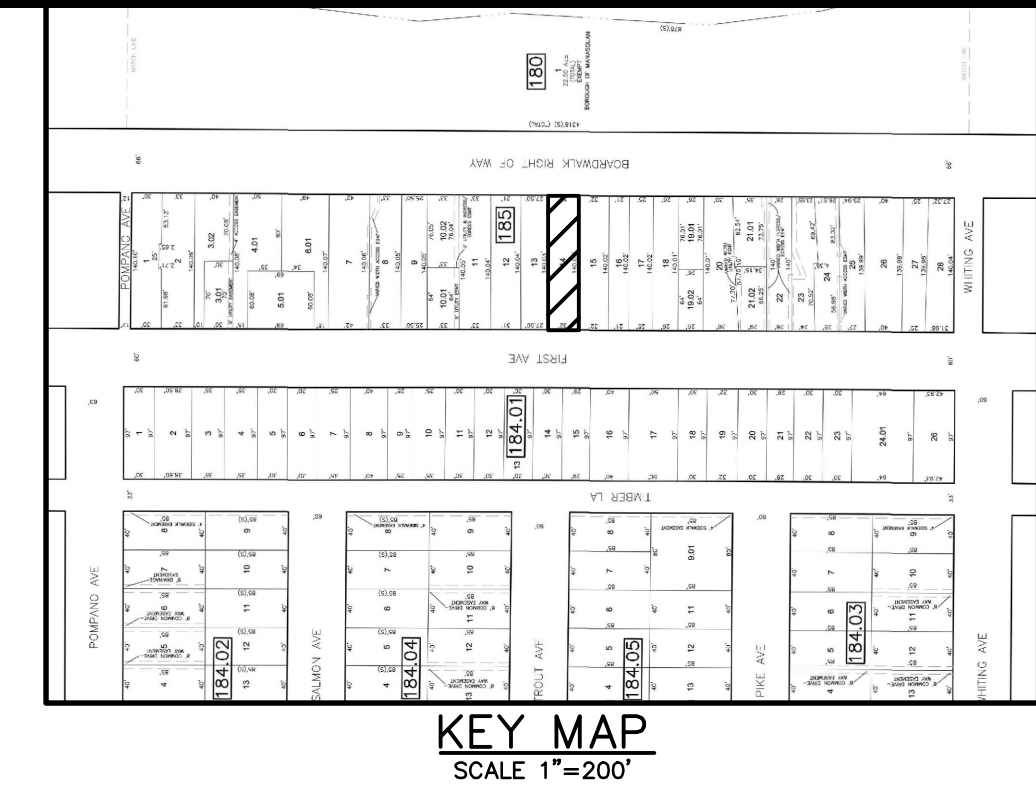
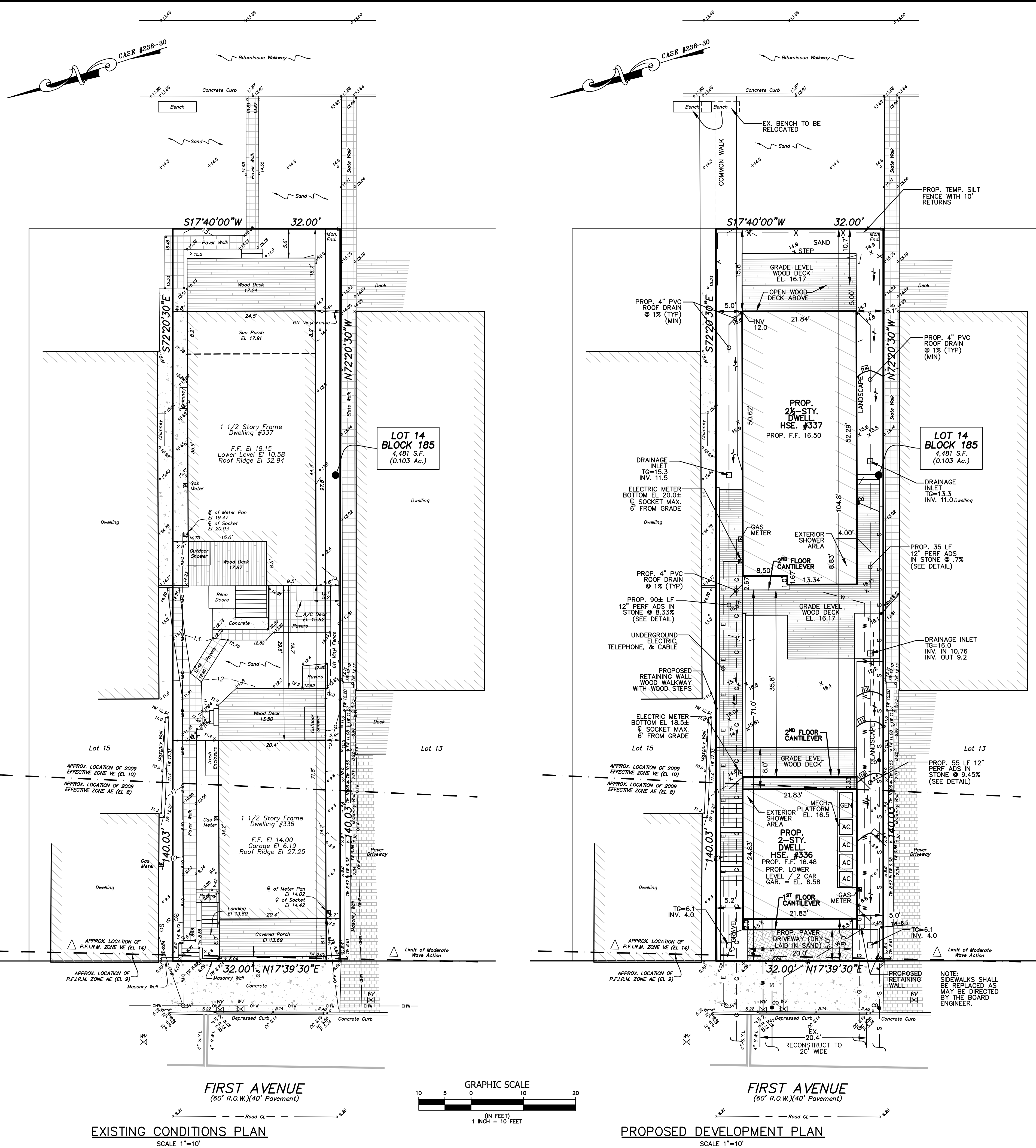
NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS @ SIMILAR AND TYPICAL CONDITIONS



2  
6  
336 First Avenue  
South Elevation  
SCALE: 1/4" = 1'-0"



1  
6  
336 First Avenue  
West Elevation  
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
- SURVEY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY LOT 14 BLOCK 185 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY." PREPARED BY LINDSTROM, DIESSNER AND CARR P.C. DATED 7/20/2020. WILLIAM H. DOOLITTLE P.L.S. FOR JANET & SCOTT CINFO.
  - ELEVATIONS BASED ON NAVD 1988 DATUM AND GPS RTK OBSERVATIONS.
  - PROPERTY LOCATED IN FLOOD ZONES AE (EL. 8) & VE (EL. 10), COMMUNITY NUMBER 345303 MAP NUMBER 3402500456F, EFFECTIVE DATE SEPTEMBER 25, 2009. PROPERTY LOCATED IN FLOOD ZONES AE (EL. 9) & VE (EL. 14) LIMWA, BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 31, 2014.
  - UTILITIES ARE EXISTING AND SHALL REMAIN AND BE RECONNECTED TO PROPOSED DWELLING IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND UTILITY COMPANY REQUIREMENTS. LOCATION OF EX. UTILITIES IS APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION.
  - FOR COMPLETE BUILDING DIMENSIONS AND INFORMATION SEE ARCHITECTURAL PLANS.
  - THERE ARE NO WETLANDS ON SITE.
  - THERE IS NO BELOW GRADE BASEMENT PROPOSED.
  - A FLOOR WITH A FLOOR THAT IS NOT 1 FOOT ABOVE THE BFE IS NOT PERMITTED.
  - ANY AND ALL IMPORTED EARTHEN MATERIAL SHALL BE CERTIFIED CLEAN.
  - ALL UTILITIES SHALL BE INSTALLED UNDERGROUND AND EACH DWELLING SHALL HAVE SEPARATE UTILITIES.

**OWNER/APPLICANT:**  
 JANET & SCOTT CINFO  
 NJDMDC, LLC  
 217 HORSEBACK HOLLOW  
 AUSTIN, TX 78732

PROPERTY IS LOCATED IN THE R-4 DISTRICT

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	10 FT.	0.8 FT.*	6.0 FT.**
SIDE SETBACK NORTH	5 FT.	8.7 FT.*	5.2 FT.
SIDE SETBACK SOUTH	5 FT.	3.7 FT.*	2.0 FT.
REAR SETBACK	15 FT.	97.8 FT.*	104.8 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	35.8 FT.*
MAX. HEIGHT <sup>(1)</sup>	33 FT.	21.77 FT.	31.79 FT.
	2 Sty	1 1/2 Sty	2 Sty

VARIANCE REQUESTED FOR STANDBY GENERATOR IN SIDE YARD (SECT. 35-11.8)

PROPERTY IS LOCATED IN THE R-4 DISTRICT

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN LOT SIZE	4,200 S.F.	4,481 S.F.	4,481 S.F.
LOT FRONTAGE	30 FT.	32.0 FT.	32.0 FT.
LOT WIDTH	30 FT.	32.0 FT.	32.0 FT.
BUILDING COVERAGE	35%	45.4%*	39.9%
LOT COVERAGE	50%	73.8%*	42.7%

OCEAN FRONT HOUSE #337

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	15 FT.	15.7 FT.	15.8 FT. DWELL; 10.7 FT. DECK**
SIDE SETBACK NORTH	5 FT.	2.8 FT.*	5.0 FT.
SIDE SETBACK SOUTH	5 FT.	4.6 FT.*	5.1 FT.
REAR SETBACK	15 FT.	71.8 FT.*	71.0 FT.
DIST. TO BLDG.	35 FT.	29.6 FT.*	35.8 FT.*
MAX. HEIGHT <sup>(2)</sup>	33 FT.	19.07 FT.	32.58 FT.
	2 1/2 Sty	1 1/2 Sty	2 1/2 Sty

\* EXISTING NON-CONFORMING  
 \*\* VARIANCE REQUESTED

(1) MEASURED FROM TC OF FIRST AVENUE 5.48  
 (2) MEASURED FROM TC 13.87 AT THE BOARDWALK

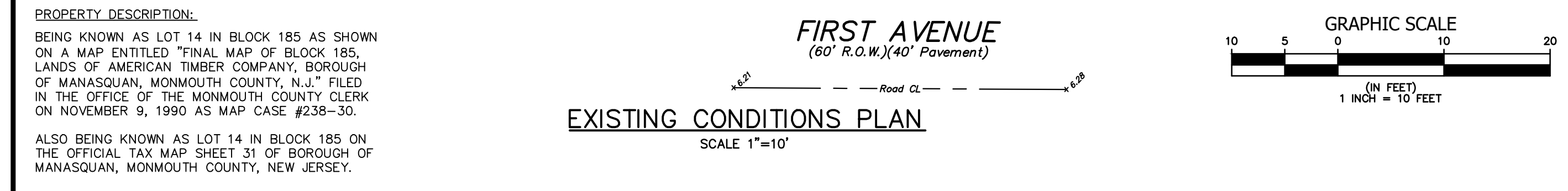
**LEGEND:**

- 47- EXISTING CONTOUR
- 148- PROPOSED CONTOUR
- 123.45 EXISTING SPOT GRADE
- 123.45 PROPOSED SPOT GRADE
- EXISTING INLET
- EXISTING INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOB TOP OF BLOCK

**REFERENCES USED:**  
 - FILED MAP, CASE #238-30  
 - DEED BOOK 9358, PAGE 2093

**PROPERTY DESCRIPTION:**  
 BEING KNOWN AS LOT 14 IN BLOCK 185 AS SHOWN ON A MAP ENTITLED "FINAL MAP OF BLOCK 185, LANDS OF AMERICAN TIMBER COMPANY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J." FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON NOVEMBER 9, 1990 AS MAP CASE #238-30.

ALSO BEING KNOWN AS LOT 14 IN BLOCK 185 ON THE OFFICIAL TAX MAP SHEET 31 OF BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.



**Lindstrom, Diessner & Carr, P.C.**  
 ENGINEERING ♦ SURVEYING ♦ PLANNING  
 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax. (732)477-8026

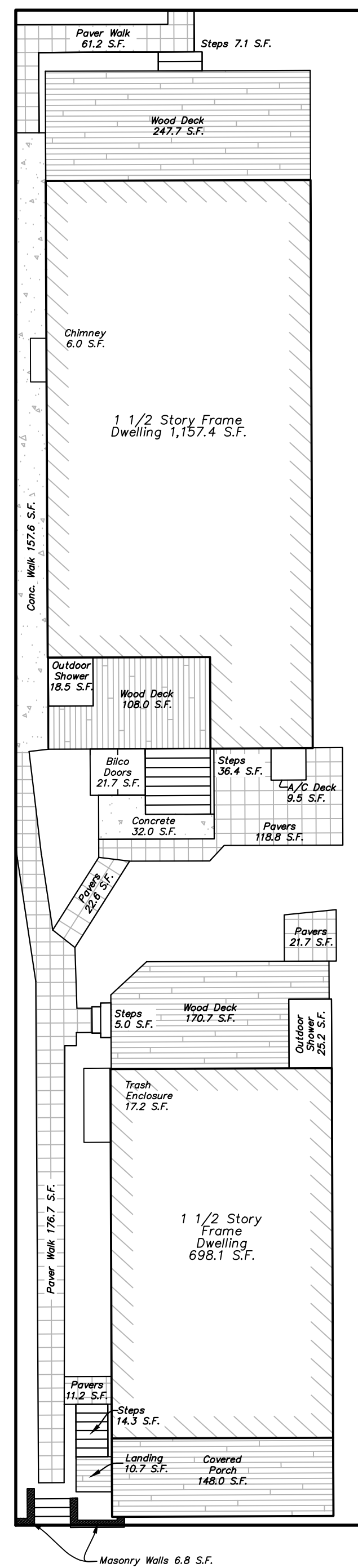
**PLOT PLAN**  
 LOT 14 BLOCK 185

BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY

**CHARLES E. LINDSTROM**  
 PROFESSIONAL ENGINEER N.J. LIC. NO. 24602473900  
 PROFESSIONAL PLANNER N.J. LIC. NO. 3300233300

NO.	DATE	REVISION DESCRIPTION	BY
4	10/18/21	REVISED PER ARCHITECT	JAR
3	8/31/21	REVISED LOCATION OF MECH. PLATFORM & EXTERIOR SHOWER / REVISED RETAINING WALL	JAR
2	6/3/21	REVISED PER ZONING OFFICER DENIAL LETTER 5/27/21	JAR
1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR

DRAWN BY: JAR SCALE: 1"=20' DATE: 12/31/2020 SHEET: 1 OF 2 PROJECT: 20075



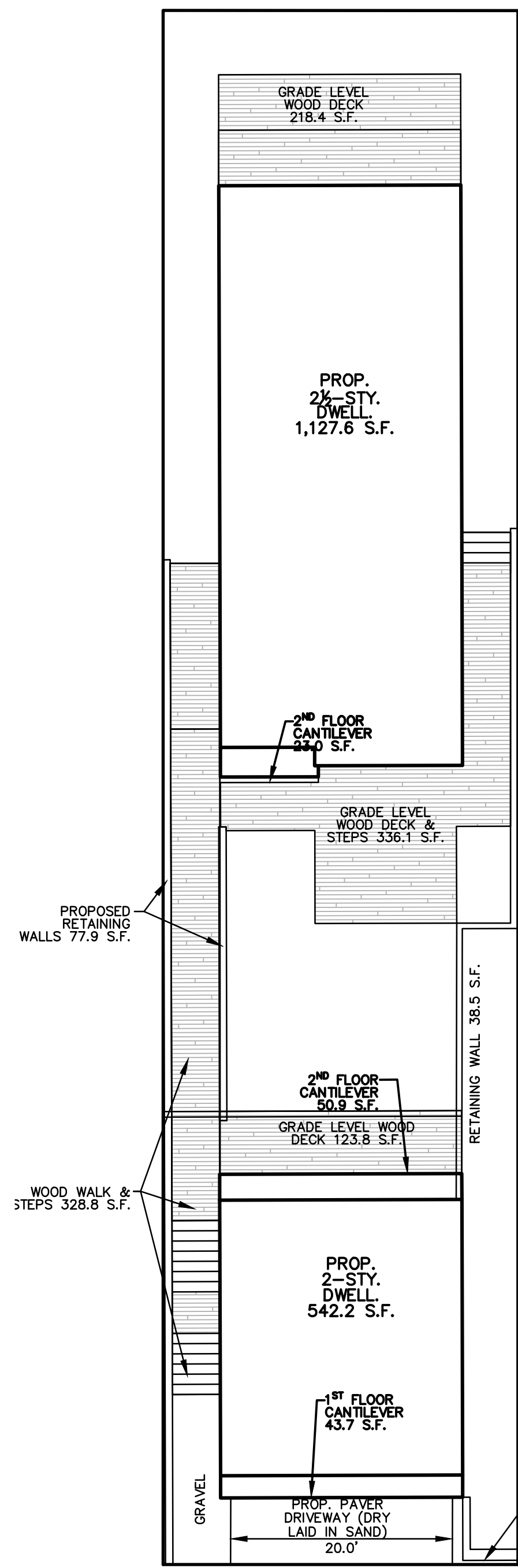
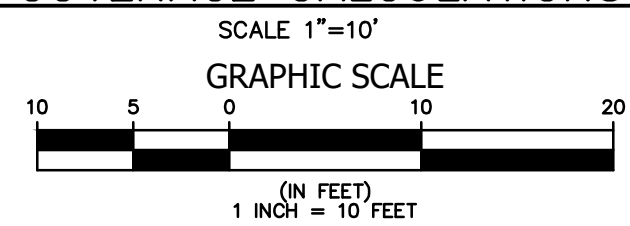
**EXISTING BUILDING COVERAGE**

- CHIMNEY 6.0 S.F.
- 1 1/2 STORY FRAME DWELLING 1,157.4 S.F.
- OUTDOOR SHOWER 25.2 S.F.
- 1 1/2 STORY FRAME DWELLING COVERED PORCH 148.0 S.F.
- TOTAL 2,034.7 S.F.

**EXISTING LOT COVERAGE**

- STEPS 7.1 S.F.
- WOOD DECK 247.7 S.F.
- CHIMNEY 6.0 S.F.
- 1 1/2 STORY FRAME DWELLING 1,157.4 S.F.
- CONC. WALK 157.6 S.F.
- OUTDOOR SHOWER 18.8 S.F.
- WOOD DECK 108.0 S.F.
- STEPS 21.7 S.F.
- WOOD DECK 36.4 S.F.
- BLOOD DOORS 21.7 S.F.
- A/C DECK 9.5 S.F.
- CONCRETE 32.0 S.F.
- STEPS 5.0 S.F.
- WOOD DECK 170.7 S.F.
- OUTDOOR SHOWER 25.2 S.F.
- TRASH ENCLOSURE 17.2 S.F.
- 1 1/2 STORY FRAME DWELLING 698.1 S.F.
- STEPS 14.3 S.F.
- LANDING 10.7 S.F.
- COVERED PORCH 148.0 S.F.
- MASONRY WALLS 6.8 S.F.
- TOTAL 2,897.9 S.F.

**EXISTING COVERAGE CALCULATIONS DETAIL**



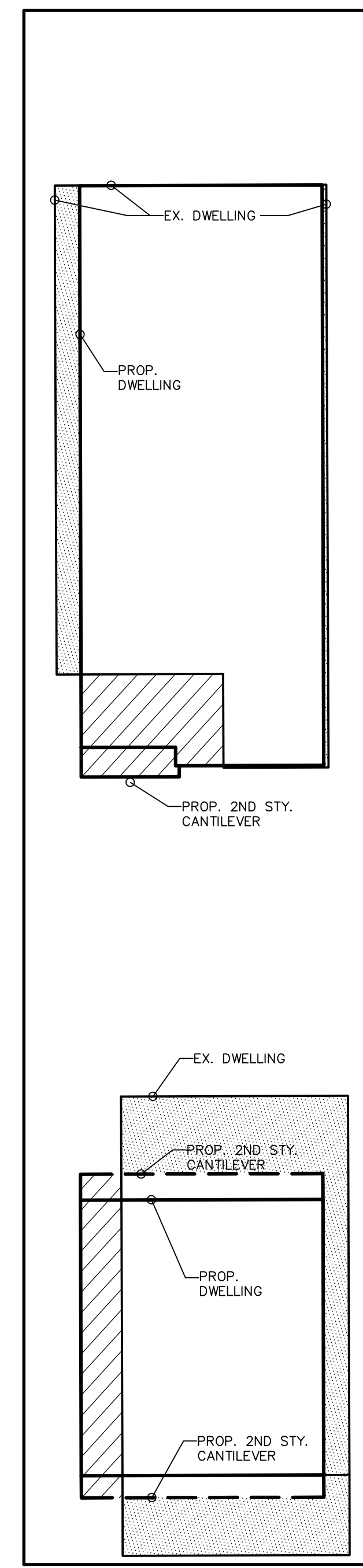
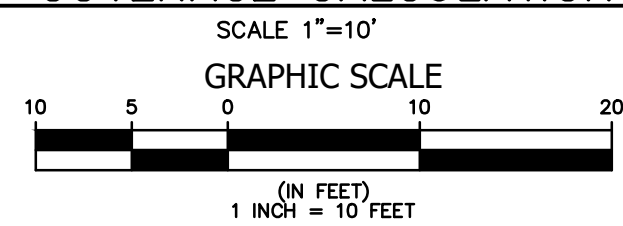
**PROPOSED BUILDING COVERAGE**

- PROP. 2 1/2-STY. DWELL 1,127.6 S.F.
- 2ND FLOOR CANTILEVER 23.0 S.F.
- 2ND FLOOR CANTILEVER 50.9 S.F.
- PROP. 2-STY. DWELL 542.2 S.F.
- 1ST FLOOR CANTILEVER 43.7 S.F.
- TOTAL 1,787.4 S.F.

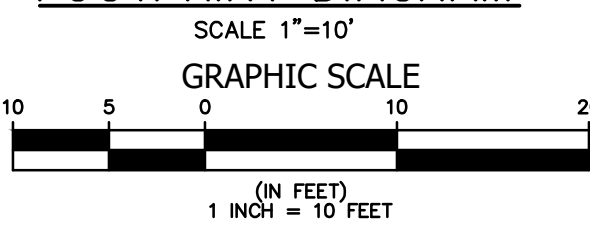
**PROPOSED LOT COVERAGE**

- PROP. 2 1/2-STY. DWELL 1,127.6 S.F.
- 2ND FLOOR CANTILEVER 23.0 S.F.
- PROPOSED RETAINING WALLS 77.9 S.F.
- RETAINING WALL 38.5 S.F.
- 2ND FLOOR CANTILEVER 50.9 S.F.
- PROP. 2-STY. DWELL 542.2 S.F.
- 1ST FLOOR CANTILEVER 43.7 S.F.
- PROPOSED RETAINING WALL 8.3 S.F.
- TOTAL 1,912.1 S.F.

**PROPOSED COVERAGE CALCULATIONS DETAIL**



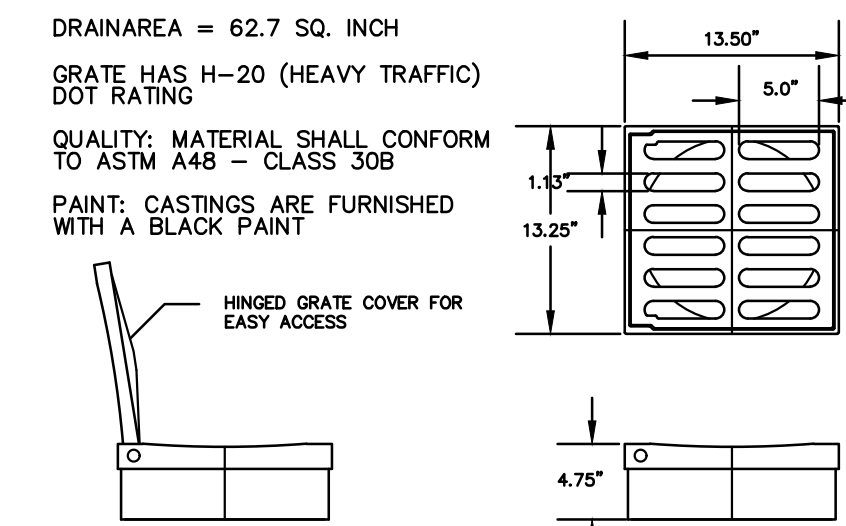
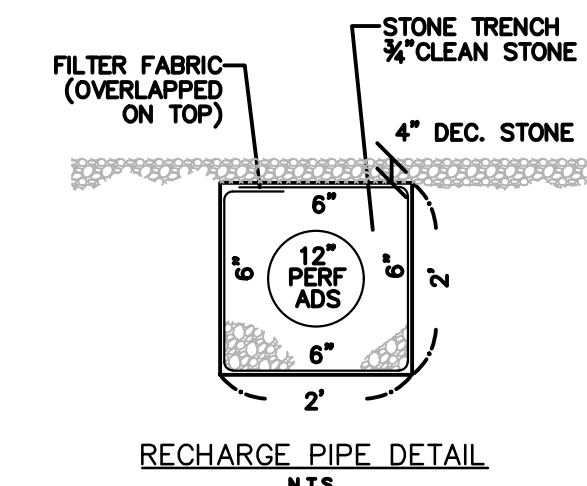
**FOOTPRINT DIAGRAM**



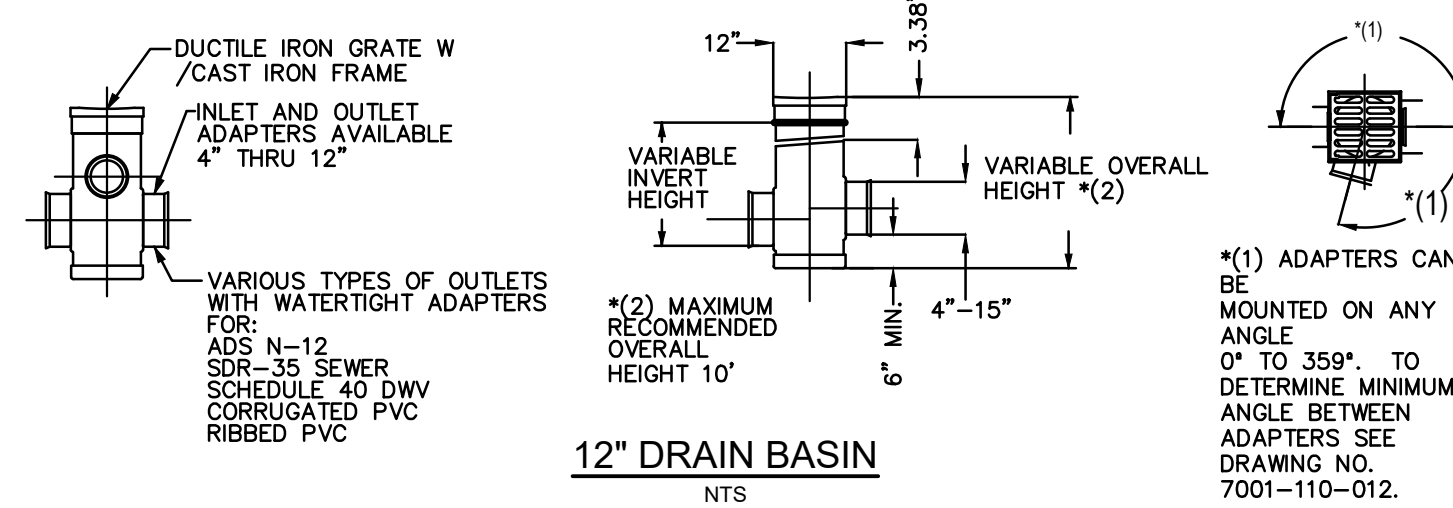
AREA OF EXPANSION 222.2 S.F.

AREA OF REDUCTION 435.9 S.F.

NET AREA OF FOOTPRINT REDUCTION 213.7 S.F.



DRAINAREA = 62.7 SQ. INCH  
GRATE HAS H-20 (HEAVY TRAFFIC) DOT RATING  
QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B  
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT



DUCTILE IRON GRATE W/ CAST IRON FRAME  
INLET AND OUTLET ADAPTERS AVAILABLE 4" THRU 12"

VARIOUS TYPES OF OUTLETS WITH WATERTIGHT ADAPTERS FOR:  
ADS N-12  
SDR-35 SEWER  
SCHEDULE 40 DWV  
CORRUGATED PVC  
RIBBED PVC

\* (1) ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 359°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

**FLOOD HAZARD CONTROL ACT NOTES**

- DECK:
  - THE DECK IS NOT ENCLOSED WITH WALLS EITHER ABOVE OR BELOW ITS FLOOR EXCEPT FOR PROTECTIVE OR DECORATIVE FENCING BANISTERS OR LATTICE WORK THAT ALLOW FLOODWATERS TO PASS FREELY.
  - THE DECK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARDS 44 C.F.R. PART 60 & FEMA'S TECHNICAL BULLETINS.
  - THE DECK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PERMIT-BY-RULE 16 AT N.J.A.C. 7:13-7.16
- RESIDENTIAL CONSTRUCTION IN TIDAL FLOOD HAZARD AREA
  - THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
  - LOWEST FLOOR SHALL MEET THE FOLLOWING:
    - THE ENCLOSURE IS USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE;
    - THE FLOOR OF THE ENCLOSURE IS SITUATED AT OR ABOVE THE ADJOINING EXTERIOR GRADE ALONG AT LEAST ONE ENTIRE EXTERIOR WALL, IN ORDER TO PROVIDE POSITIVE DRAINAGE OF THE ENCLOSED AREA; AND
    - THE ENCLOSURE IS CONSTRUCTED WITH FEMA COMPLIANT BREAKAWAY WALLS AND PERMANENT FLOOD OPENINGS THAT MEET THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23
    - THE DEED FOR THE LOT ON WHICH THE ENCLOSURE OR GARAGE IS CONSTRUCTED IS MODIFIED TO:
      - EXPLAIN THAT THE ENCLOSURE OR GARAGE IS LIKELY TO BE INUNDATED BY FLOODWATERS, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
      - DISCLOSE THE DEPTH OF FLOOD THAT THE ENCLOSURE OR GARAGE WOULD EXPERIENCE DURING THE FEMA 100-YEAR FLOOD AND FLOOD HAZARD AREA DESIGN FLOOD, IF EITHER ELEVATION IS KNOWN;
      - PROHIBIT HABITATION OF THE ENCLOSURE OR GARAGE; AND
      - EXPLAIN THAT CONVERTING THE ENCLOSURE OR GARAGE INTO A HABITABLE AREA MAY SUBJECT THE PROPERTY OWNER TO ENFORCEMENT ACTION BY THE NADEP.
  - THE PROPOSED DRIVEWAY ASSOCIATED WITH HABITABLE BUILDING SHALL MEET THE REQUIREMENTS AT N.J.A.C. 7:13-12.6(f). THE DRIVEWAY WILL NOT BE CONSTRUCTED FOR A BUILDING THAT IS PART OF RESIDENTIAL SUBDIVISION OR MULTIUNIT DEVELOPMENT AND A DEED MODIFICATION WILL BE PROVIDED IN ACCORDANCE WITH 12.6(f), SINCE IT IS NOT FEASIBLE TO CONSTRUCT THE DRIVEWAY AT LEAST ONE FOOT ABOVE THE BFE OF 14.0' NAVD.

**V-ZONE NOTES**

- BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER FOR DWELLING AND GARAGE AREA TO BE SET AT MIN. ELEVATION 15.0 MIN. (FEMA PRELIMINARY FIRM 14.0 PLUS 1 FOOT OF FREEBOARD TO BOTTOM OF GIRDER).
- THE PROPOSED FINISHED FLOOR LIVING SPACE IS ELEVATION 16.5 FOR OCEAN FRONT AND 16.48 FOR FIRST AVENUE NAVD88.
- ALL AREAS BELOW LOWEST HORIZONTAL GIRDER MIN. (EL 15.0) SHALL BE NON BEARING BREAKAWAY WALLS IN ACCORDANCE WITH FEMA REQUIREMENTS.
- LOWEST HORIZONTAL STRUCTURAL MEMBER SHALL BE SUPPORTED BY PILINGS DRIVEN TO A TIP ELEVATION OF -10.0 NAVD 88.
- GARAGE SLAB (EL. 6.58) SHALL BE NON STRUCTURAL CONCRETE SLABS, NOT CONNECTED TO SUPPORT PILINGS IN ACCORDANCE WITH V-ZONE FEMA STANDARDS.
- GARAGE DOORS SHALL BE NON BEARING AND BREAKAWAY DESIGN BELOW THE LOWEST HORIZONTAL STRUCTURAL MEMBER MIN. (EL. 15.0).
- LOWER LEVEL BELOW EL. 15.0 SHALL ONLY BE USED FOR STORAGE AND PARKING AND SHALL NOT BE USED FOR HABITABLE SPACE.
- THE PROPOSED GARAGE WILL BE ENCLOSED USING NON BEARING (FEMA APPROVED) BREAKAWAY WALLS.
- ALL DUCT WORK, ELECTRICAL COMPONENTS AND MECHANICALS SERVING THE BUILDING SHALL BE LOCATED ABOVE THE DECK AND ALL SERVICE CONDUIT AND/OR PIPING FOR THE SUBJECT BUILDING SHALL NOT BE LOCATED ON THE BREAK-AWAY WALLS.
- ALL STAIRWAY SYSTEMS FOR THE SUBJECT BUILDING BELOW THE DECK SHALL BE OF BREAK-AWAY CONSTRUCTION DESIGN AND SHALL BREAK CLEANLY AWAY DURING THE BASE FLOOD EVENT WITHOUT CAUSING DAMAGE TO THE BUILDING OR ITS FOUNDATION. OR THE STAIRWAY SYSTEMS SHALL BE DESIGNED TO RESIST FLOOD LOADS AND REMAIN IN PLACE DURING THE BASE FLOOD EVENT WITHIN THE ELEVATED BUILDING AND ITS FOUNDATION DESIGNED TO RESIST ANY FLOOD LOADS THAT ARE TRANSFERRED FROM THE STAIRS TO THE BUILDING.
- THE BUILDING AND ANY ASSOCIATED DECKS, WHICH ARE LOCATED IN THE VE FLOOD ZONE, SHALL BE DESIGNED WITH A DEEP FOUNDATION (PILES OR COLUMNS) TO SUPPORT THE STRUCTURE IN THE EVENT OF SCOUR OR EROSION, AND THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER FOR THE ELEVATED STRUCTURE, INCLUDING GARAGE, SHALL BE ABOVE THE DFE.

**CAFRA GENERAL NOTES:**

- INDIGENOUS COASTAL PLANTS ARE ENCOURAGED TO BE USED WHEREVER FEASIBLE. NO PLASTIC LINERS SHALL BE USED IN LANDSCAPED OR GRAVEL AREAS. ALL LINERS SHALL BE MADE OF FILTER CLOTH OR OTHER PERMEABLE MATERIAL.
- CROWN DRIVEWAY TO PITCH RUNOFF TO DRAIN ONTO PERMEABLE AREAS OF THE SITE OR USE OTHER PERMEABLE STONE.
- PROPOSED SILT FENCE SHALL BE ERRECTED PRIOR TO CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION AND LANDSCAPING IS COMPLETE.
- ALL CONSTRUCTION SHALL COMPLY WITH FEMA REQUIREMENTS AND FLOOD HAZARD CONTROL ACT REQUIREMENTS.
- FLOOD VENTS SHALL BE INSTALLED IN GARAGE AND LOWER LEVEL IN ACCORDANCE WITH FEMA REQUIREMENTS.

**FLOOD VENTS SHALL MEET THE FOLLOWING:**

- THE INVERT OF EACH FLOOD VENT SHALL BE NO MORE THAN 12 INCHES ABOVE THE ADJOINING EXTERIOR GRADE OR INTERIOR SLAB.
- THE INVERT OF AT LEAST HALF OF THE FLOOD VENTS SHALL BE NO MORE THAN 12 INCHES ABOVE THE FLOOR OF THE BUILDING.
- THE COMBINED EFFECTIVE OPEN AREA OF THE FLOOD VENTS SHALL BE AT LEAST ONE SQUARE INCH PER SQUARE FOOT OF THE AREA OF THE FOOTPRINT OF THE BUILDING, UNLESS A SMALLER FEMA-APPROVED DEVICE WITH AN EQUIVALENT EFFECTIVE AREA IS UTILIZED; AND
- THE FLOOD VENTS SHALL NOT BE BLOCKED AT ANY TIME, BUT SHALL PERMANENTLY REMAIN OPEN SO THAT THE FLOODWATERS CAN FREELY ENTER THE BUILDING TO BALANCE HYDROSTATIC PRESSURE DURING A FLOOD.
- NO FLOOD VENT SHALL BE PLACED CLOSER THAN 3 FEET TO A GAS METER OR GAS CONSUMING APPLIANCE.
- SEE ARCHITECTURAL PLANS FOR FLOOD VENT DETAILS AND MODEL.
- FLOOD VENTS TO BE PROVIDED FOR ALL ENCLOSED AREAS OF THE LOWER LEVEL ON THE BASIS OF 1 SQ. IN. OF VENTING PER SQ. FT. OF ENCLOSURE.

3	10/18/21	REVISED PER ARCHITECT	JAR
2	8/31/21	REVISED LOCATION OF MECH. PLATFORM & EXTERIOR SHOWER / REVISED RETAINING WALL	JAR
1	3/31/21	REVISED PER ARCHITECT REVISIONS	JAR
NO.	DATE	REVISION DESCRIPTION	BY

**Lindstrom, Diessner & Carr, P.C.**  
ENGINEERING ♦ SURVEYING ♦ PLANNING  
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax (732)477-8026

**PLOT PLAN**  
LOT 14 BLOCK 185

BOROUGH OF MANASQUAN MONMOUTH COUNTY NEW JERSEY

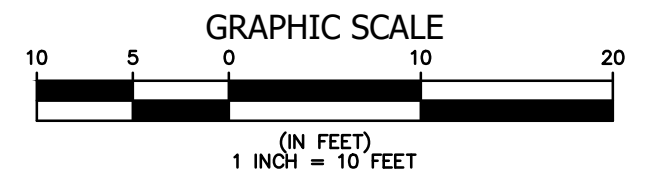
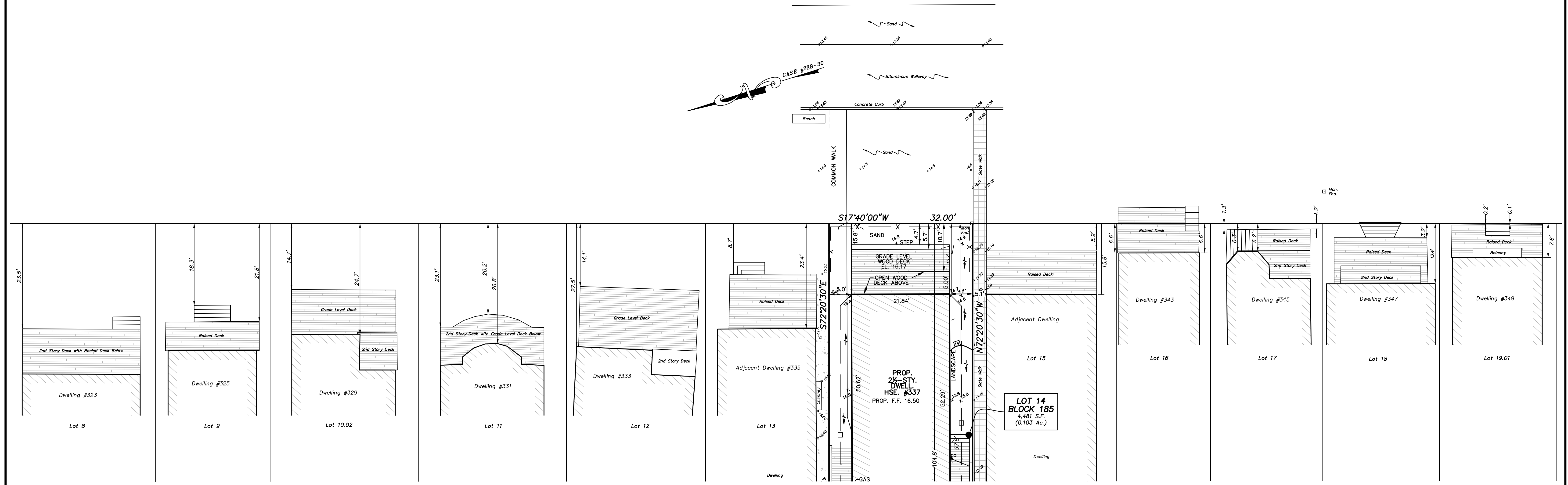
CHARLES E. LINDSTROM  
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602473900  
PROFESSIONAL PLANNER N.J. LIC. NO. 33100233300

DRAWN BY: JAR SCALE: 1"=20' DATE: 12/31/2020 SHEET: 2 OF 2 PROJECT: 20075



KEY MAP  
SCALE 1"=200'

AERIAL MAP  
N.T.S.



NO.	DATE	REVISION DESCRIPTION	BY

**Lindstrom, Diessner & Carr, P.C.**  
 ENGINEERING ♦ SURVEYING ♦ PLANNING  
 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax. (732)477-8026

**OCEAN FRONT SETBACK EXHIBIT  
 LOT 14 BLOCK 185**

**CHARLES E. LINDSTROM**  
 PROFESSIONAL ENGINEER N.J. LIC. NO. 246E02473900  
 PROFESSIONAL PLANNER N.J. LIC. NO. 33U00233300

BOROUGH OF MANASQUAN	MONMOUTH COUNTY	NEW JERSEY
DRAWN BY: CC	SCALE: 1"=10'	DATE: 11/1/21
SHEET: 1 OF 1	PROJECT: 20075	

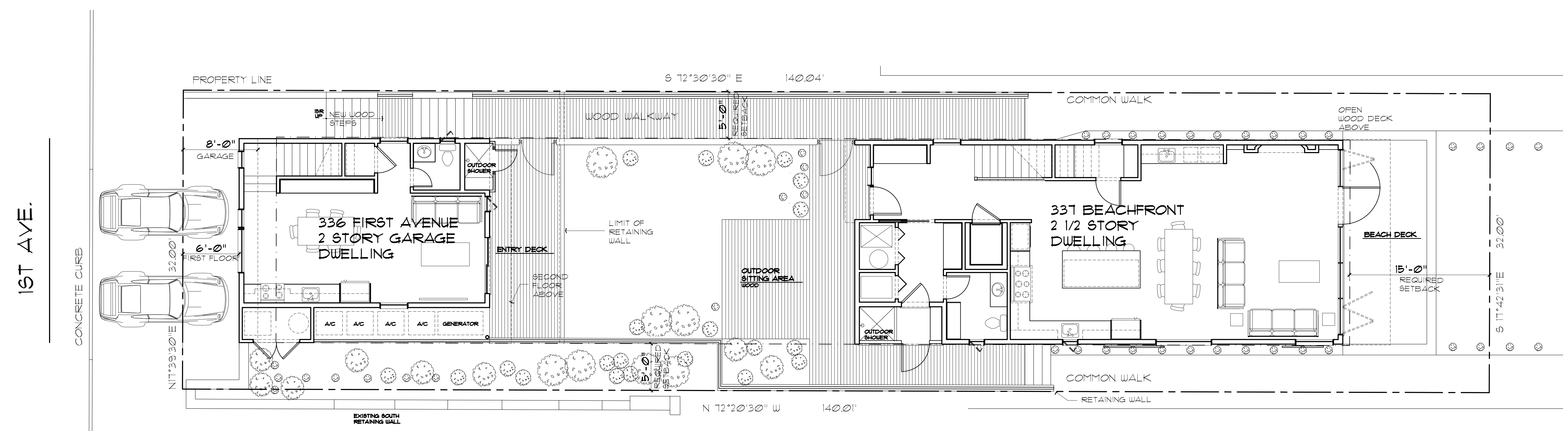
revisions	date
1.	
2.	
3.	
4.	

project number  
**2012**

**Site Plan Legend:**

— PROPERTY LINE  
- - - SETBACK LINE

Plan North:	True North:

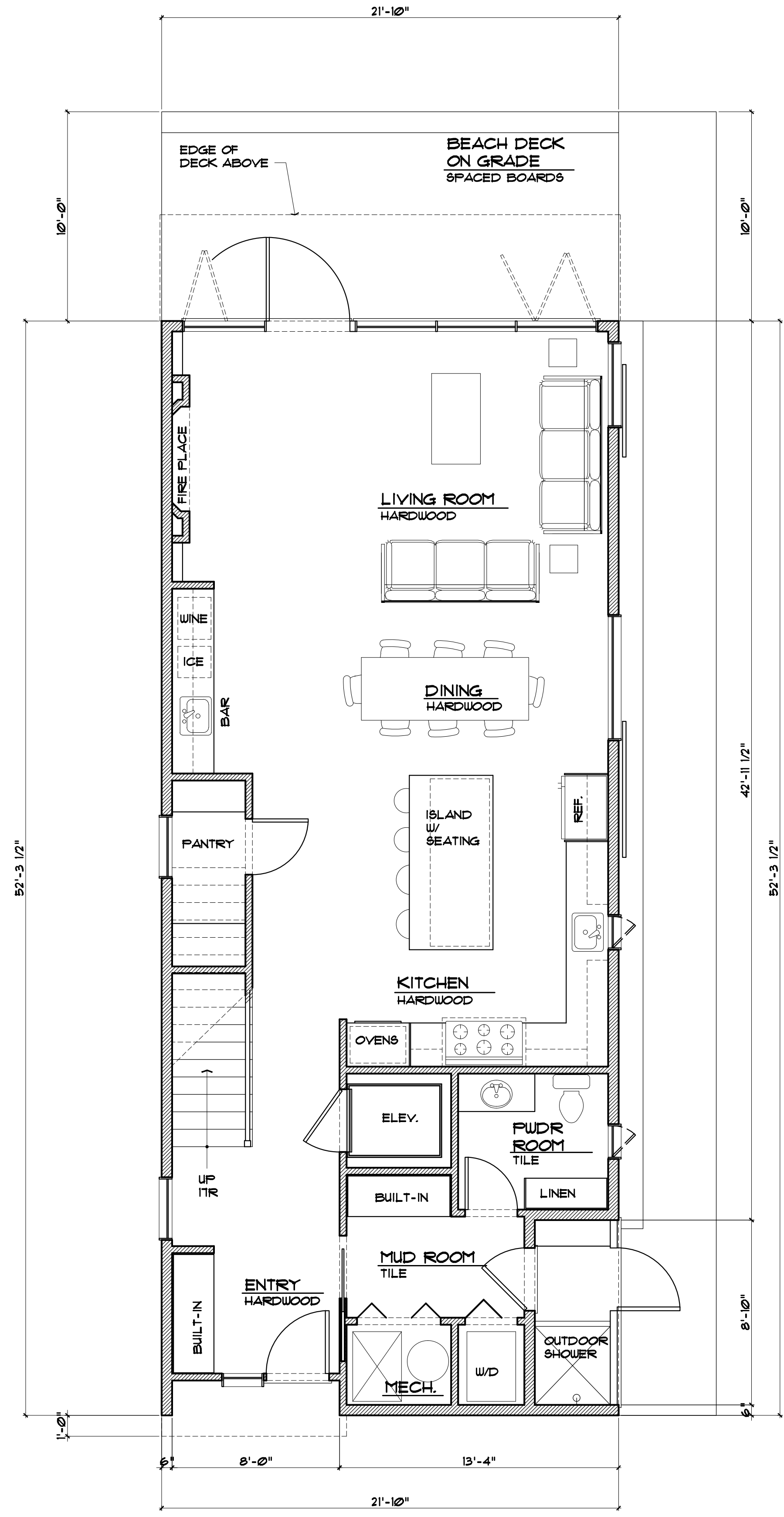


Site Plan  
SCALE: 3/16" = 1'-0"

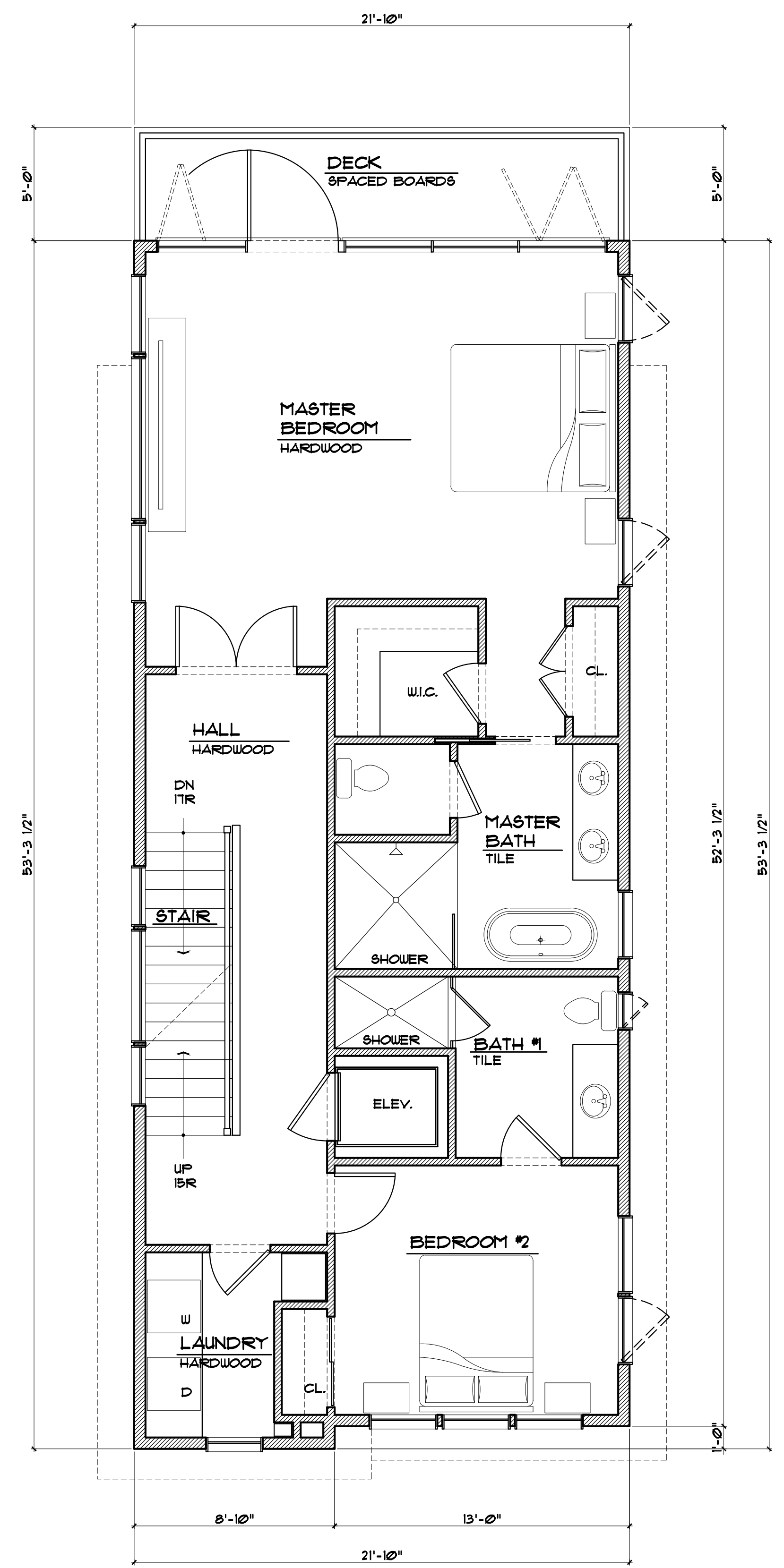


revisions	date
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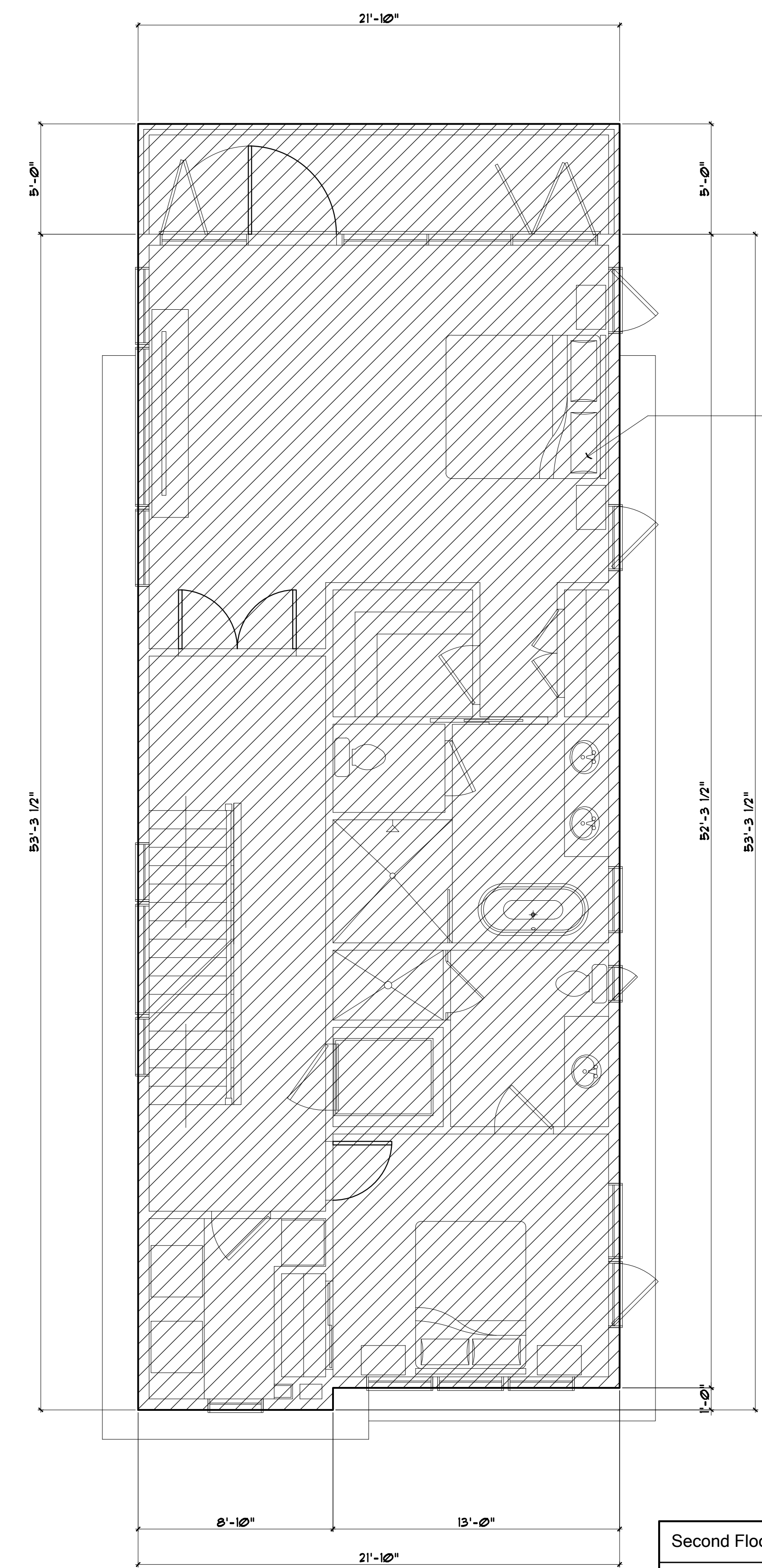
project number  
**2012**



1  
2  
337 Beachfront  
First Floor Plan  
SCALE: 1/4" = 1'-0"



2  
2  
337 Beachfront  
Second Floor Plan  
SCALE: 1/4" = 1'-0"



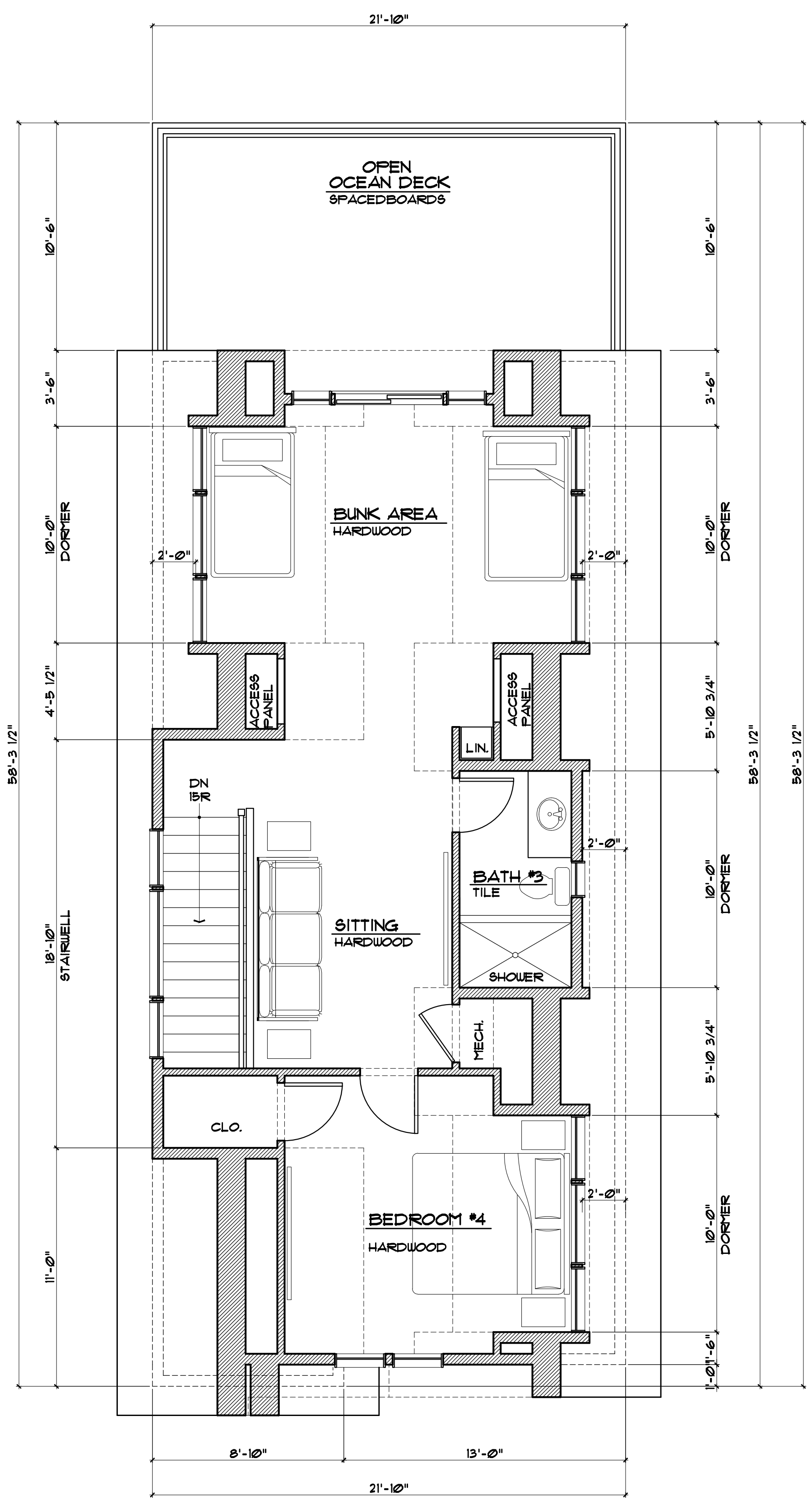
3  
2  
337 Beachfront  
Second Floor Plan Area Diagram  
SCALE: 1/4" = 1'-0"

Second Floor Area:  
1,259.8 S.F.

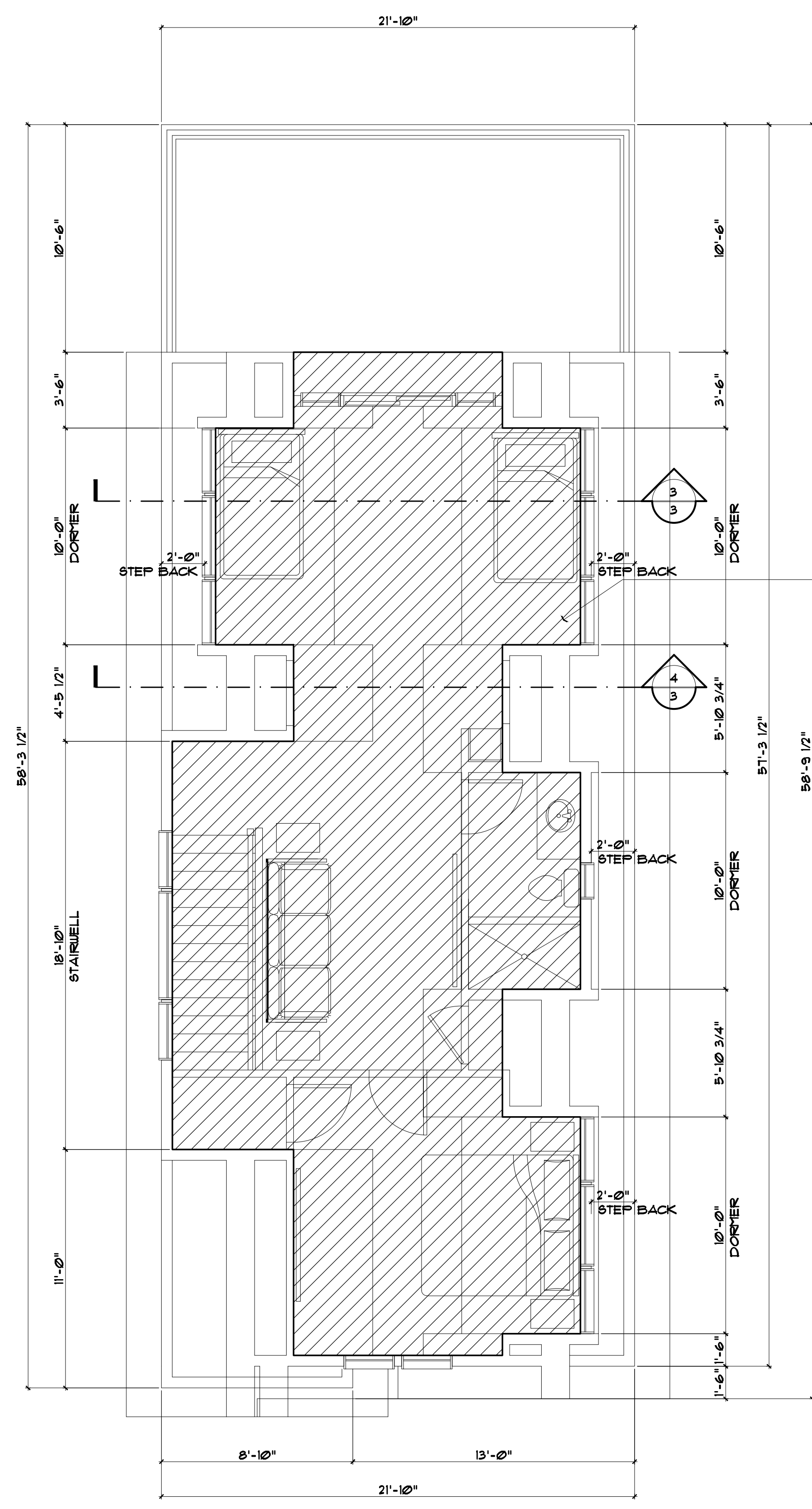
SECOND FLOOR AREA INCLUSIVE OF COVERED PORCH

revisions	date
1.	
2.	
3.	
4.	

project number  
**2012**



1  
3  
337 Beachfront  
Finished Attic Floor Plan  
SCALE: 1/4" = 1'-0"

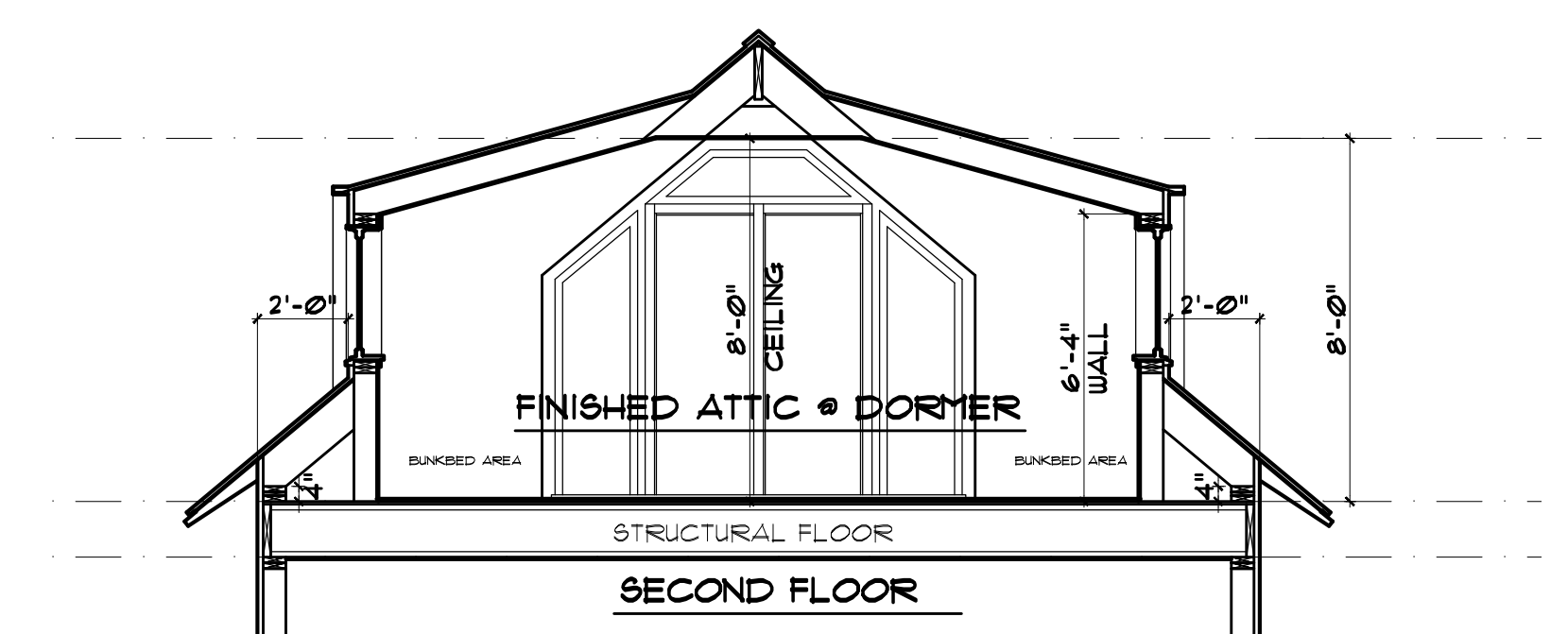


2  
3  
337 Beachfront  
Finished Attic Floor Plan Showing  
Area of Five Feet or Greater Headroom  
SCALE: 1/4" = 1'-0"

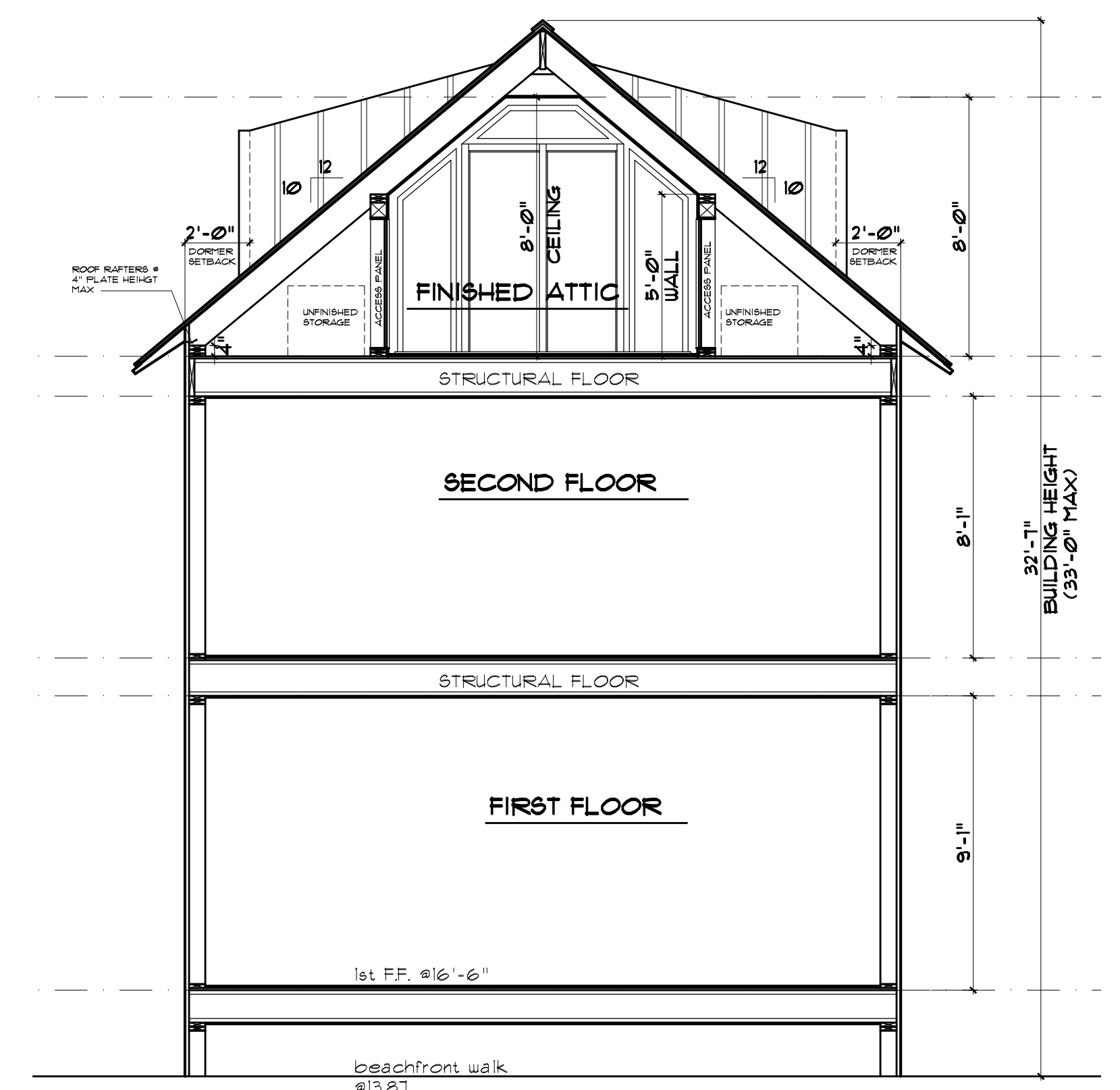
Half Story Calculation
695.5 S.F.

THE FINISHED AREA OF THE ATTIC WHERE THE INTERSECTION OF THE ROOF RAFTERS AND THE EXTERIOR WALL OCCURS WITHIN FOUR INCHES OF THE FLOOR/CEILING SYSTEM, AND IN WHICH SPACE THE MAXIMUM FLOOR AREA AT A CEILING HEIGHT OF FIVE FEET OR MORE, INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES (695.5 S.F.) OCCUPIES 55.2% OF THE SQUARE FOOTAGE DIRECTLY BELOW (1259.8 S.F.) INCLUSIVE OF ROOFED OVER PORCHES. 60% IS THE MAXIMUM ALLOWABLE

HATCH REPRESENTS THE FINISHED AREA OF ATTIC IN WHICH THERE IS A CEILING HEIGHT OF FIVE FEET OR MORE, INCLUSIVE OF STAIRWELLS AND ROOFED OVER PORCHES



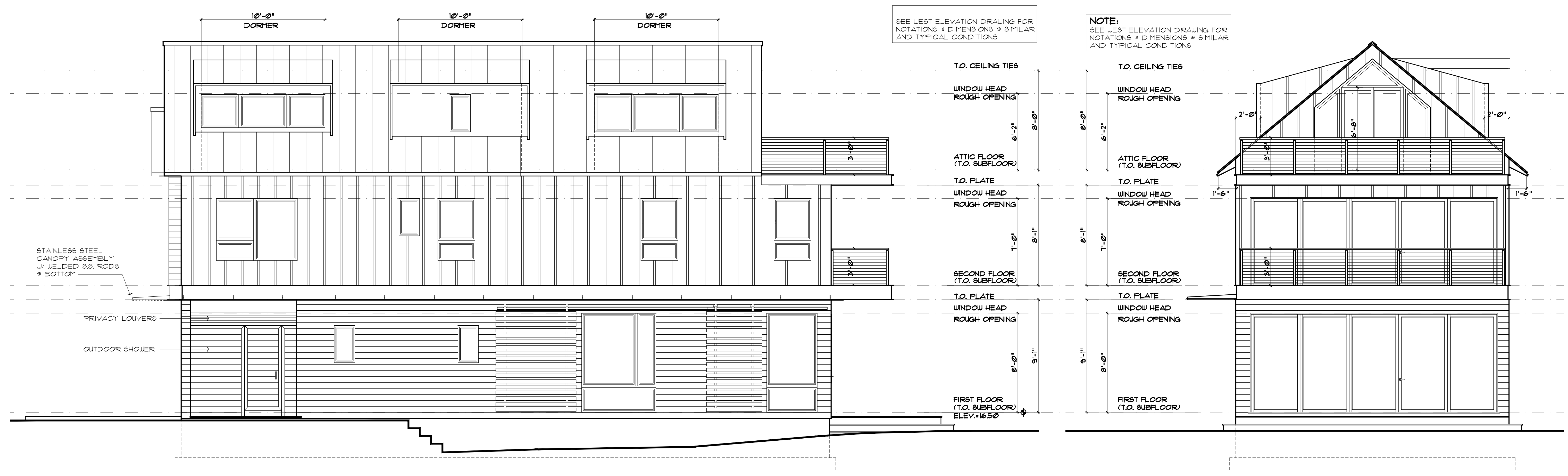
3  
3  
337 Beachfront  
Section @ Garret Dormer  
SCALE: 1/4" = 1'-0"



4  
3  
337 Beachfront  
Building Section  
SCALE: 1/4" = 1'-0"

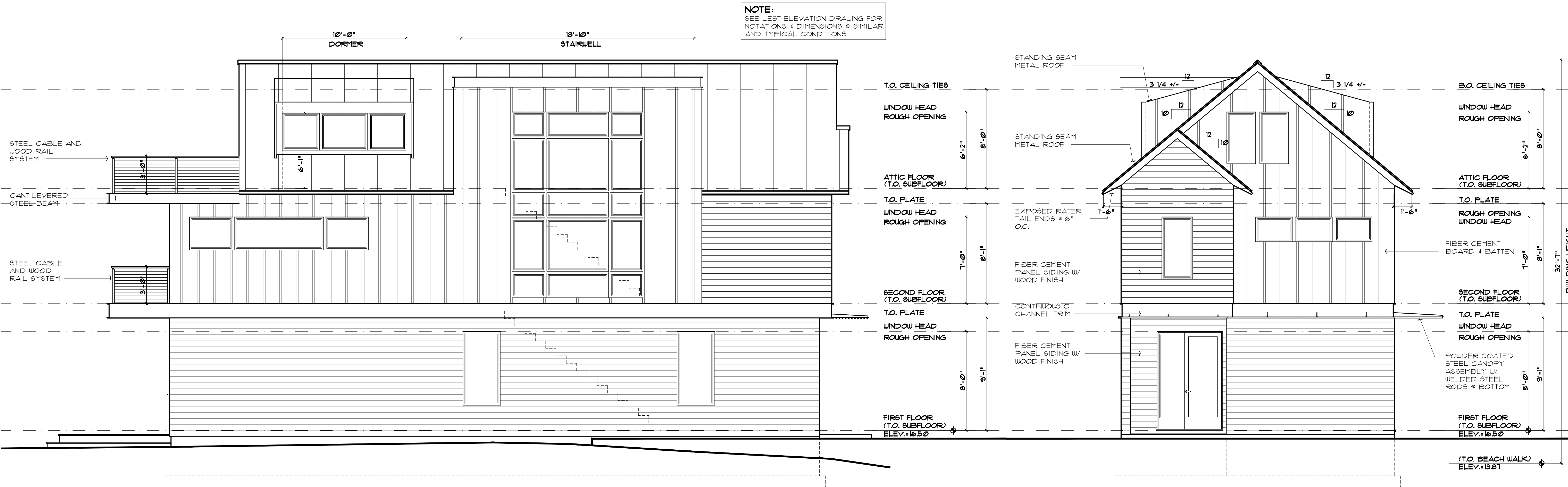
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project number  
2012



337 Beachfront  
South Elevation  
SCALE: 1/4" = 1'-0"

337 Beachfront  
East Elevation  
SCALE: 1/4" = 1'-0"

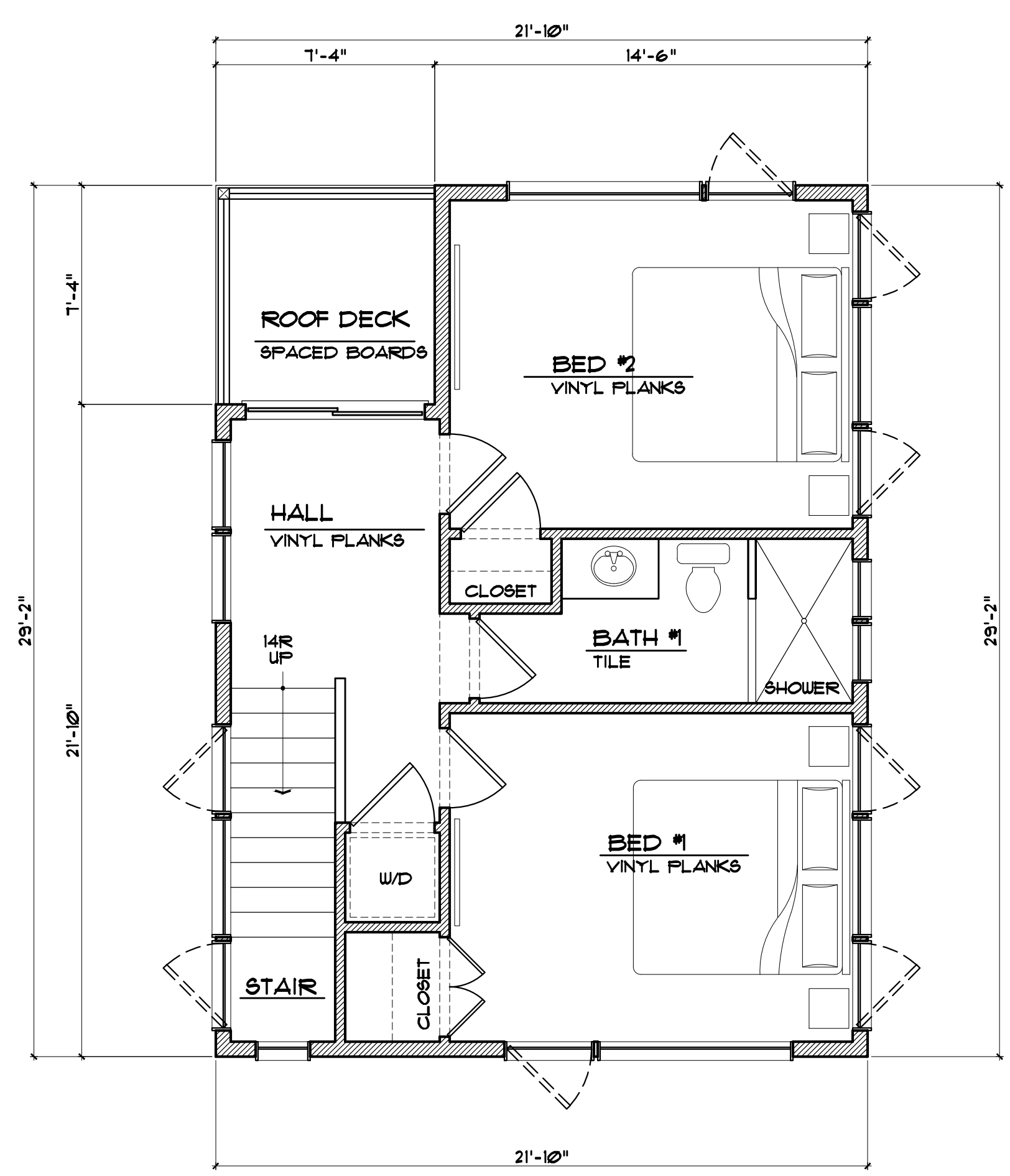


337 Beachfront  
North Elevation  
SCALE: 1/4" = 1'-0"

337 Beachfront  
West Elevation  
SCALE: 1/4" = 1'-0"

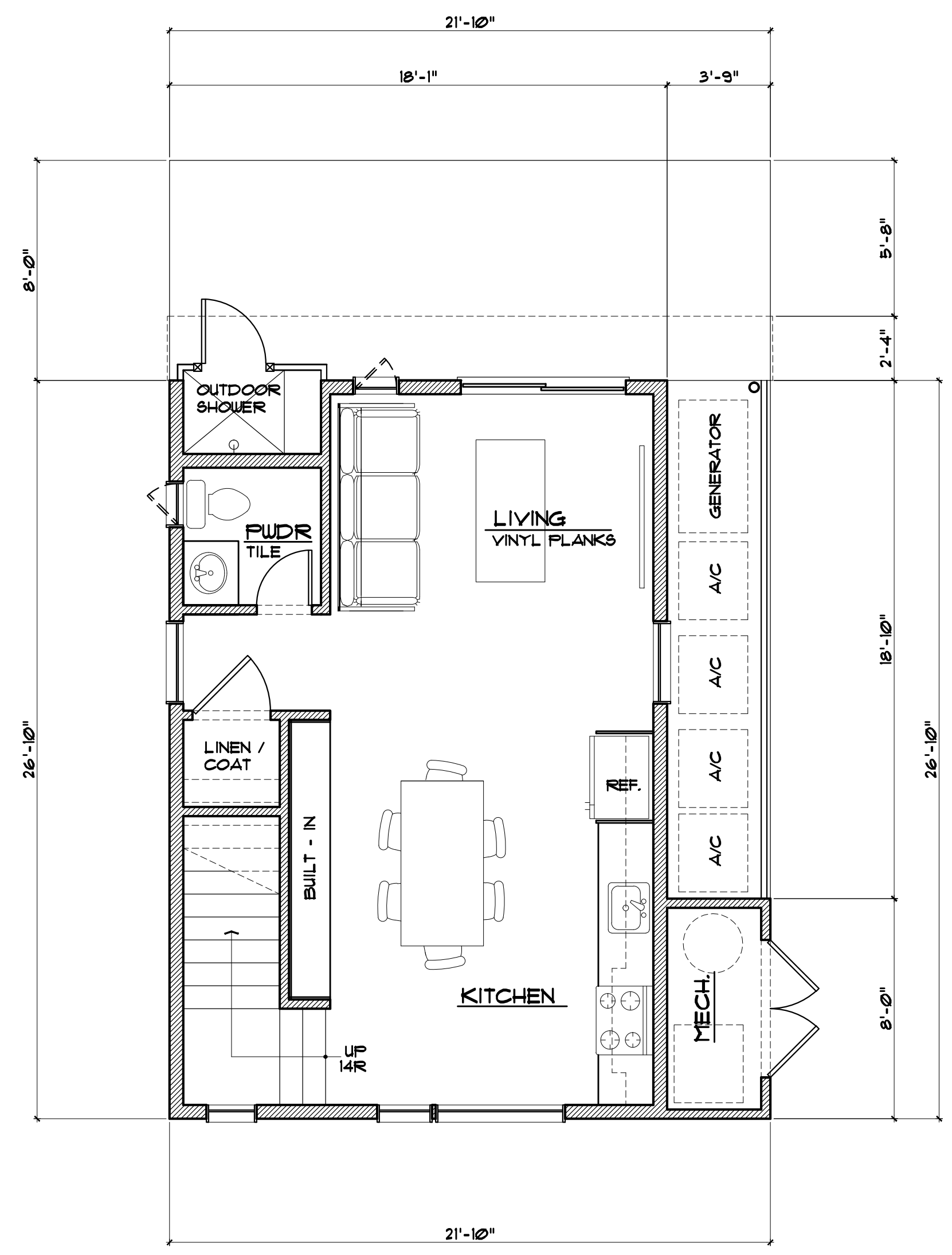
revisions	date
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project number  
2012



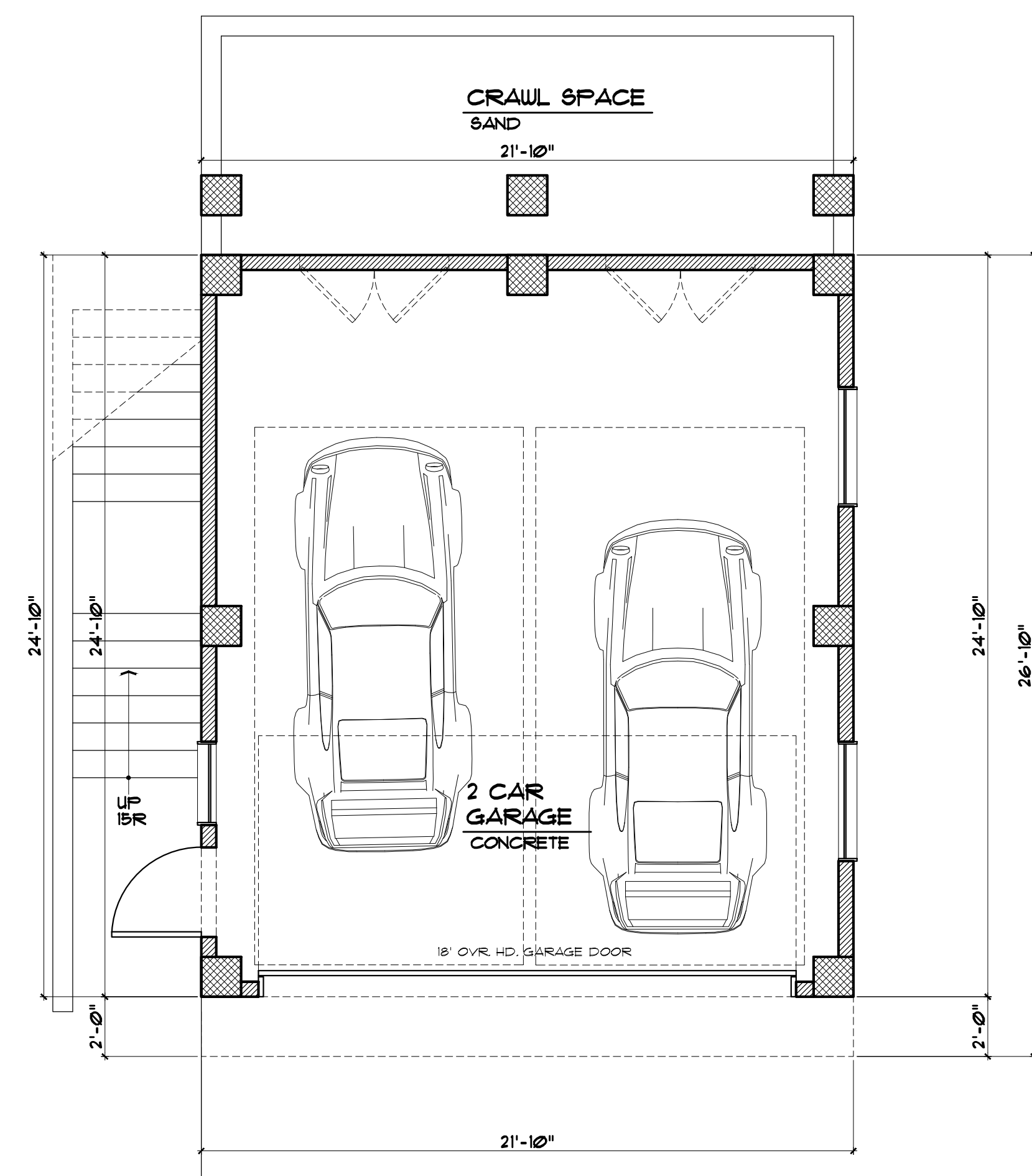
3  
5

336 First Avenue  
Second Floor Plan  
SCALE: 1/4" = 1'-0"



2  
5

336 First Avenue  
First Floor Plan  
SCALE: 1/4" = 1'-0"



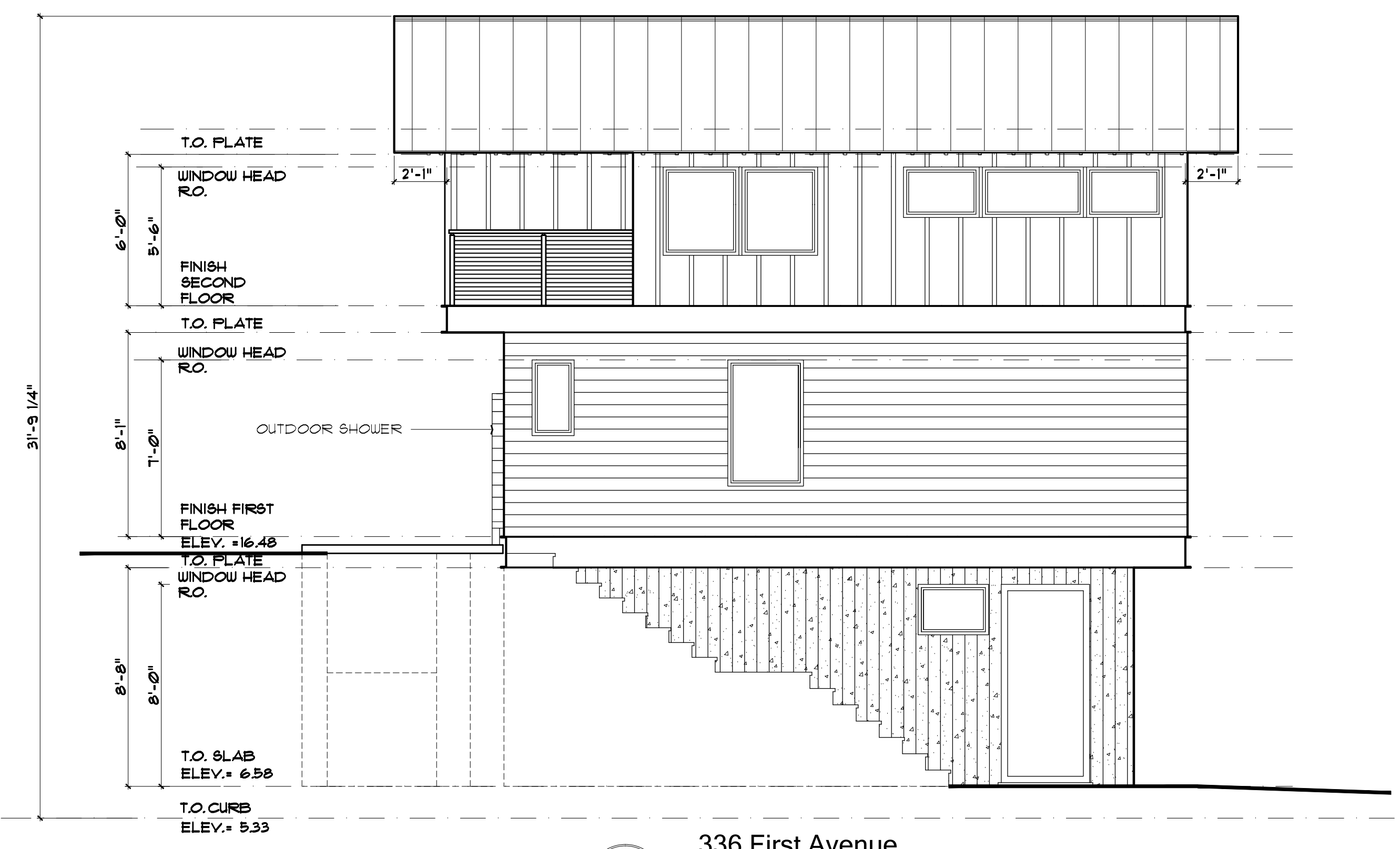
1  
5

336 First Avenue  
Grade Level Plan  
SCALE: 1/4" = 1'-0"

revisions	date
1.	
2.	
3.	
4.	

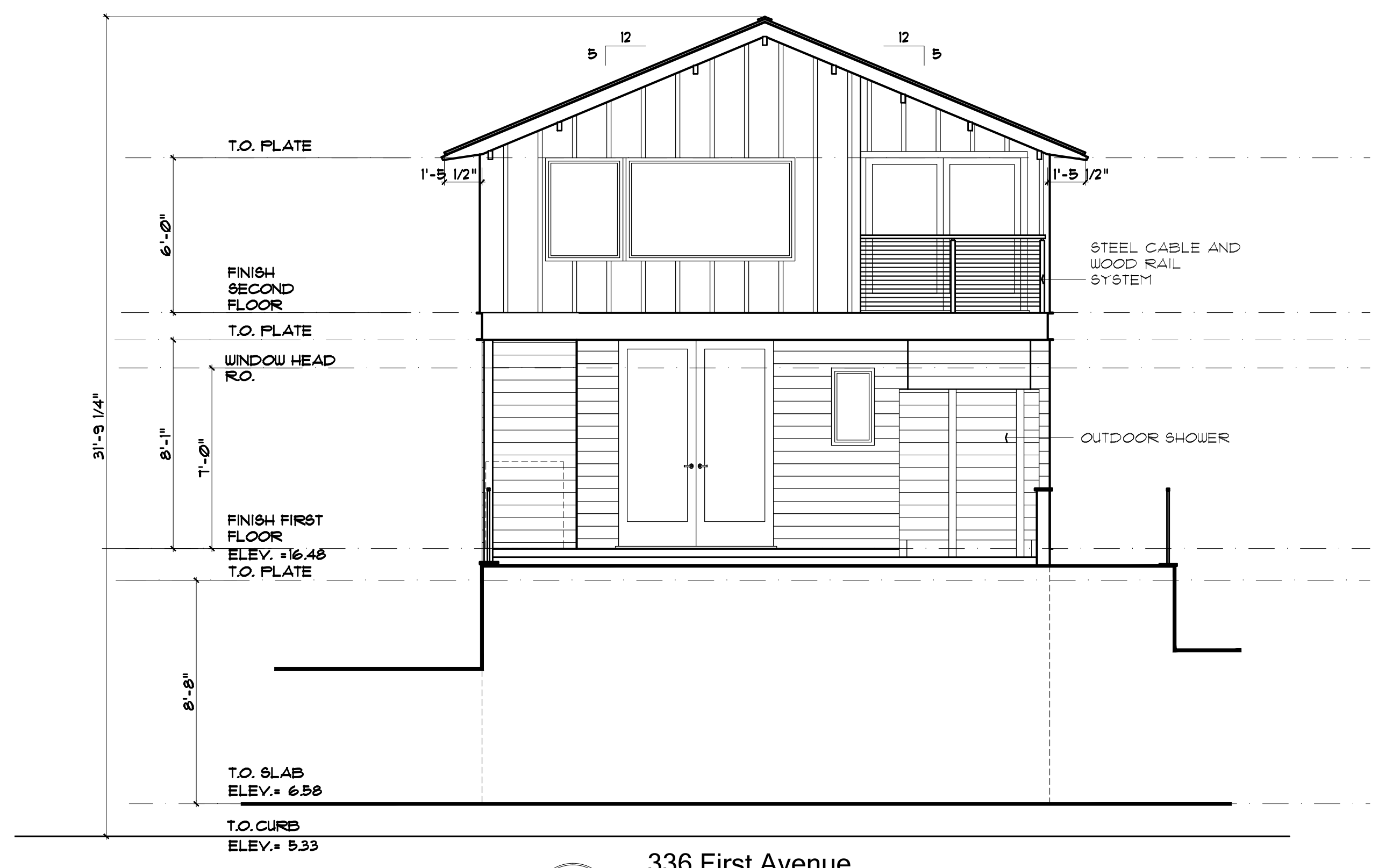
project number  
2012

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS @ SIMILAR AND TYPICAL CONDITIONS



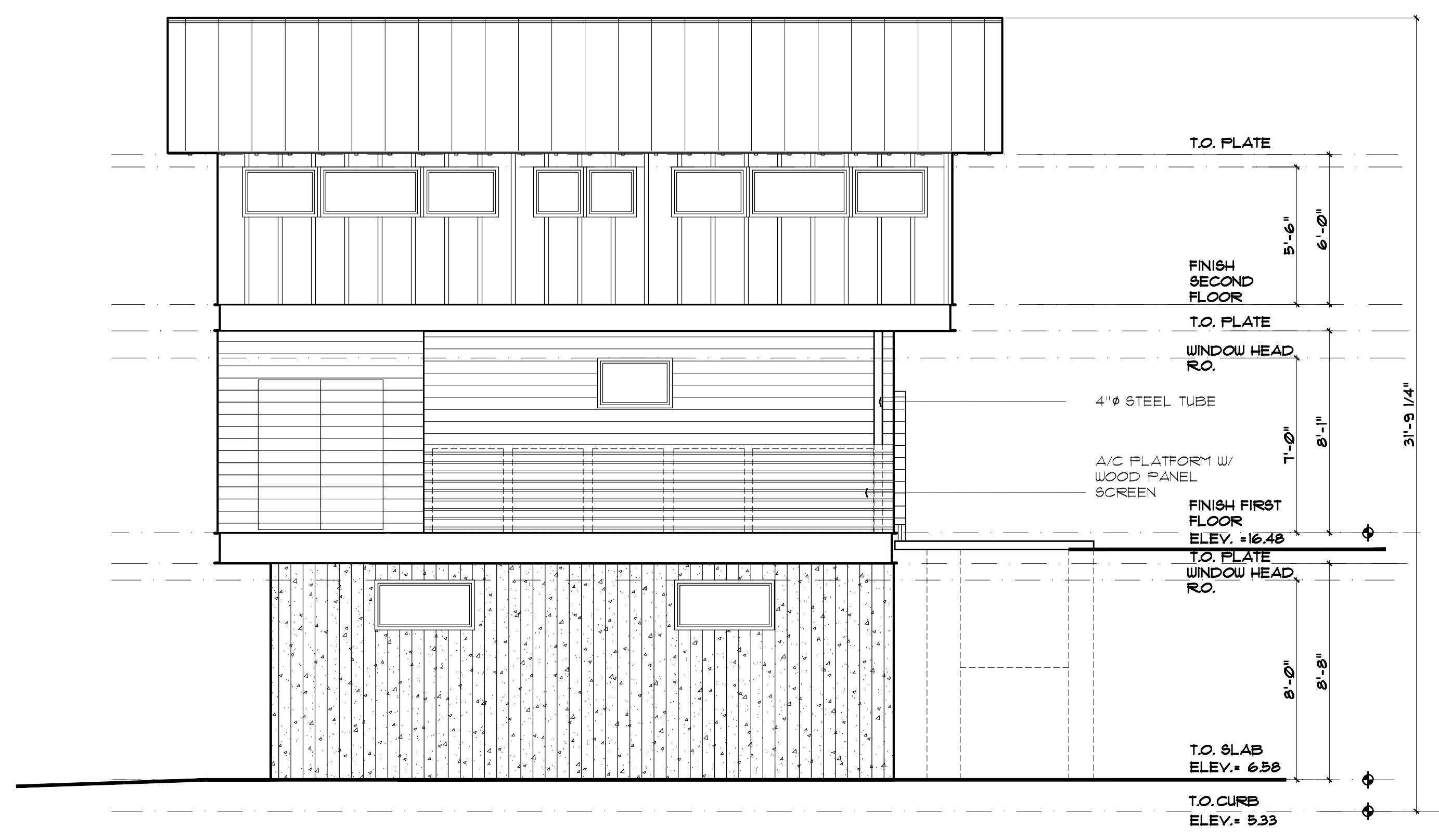
4  
6  
336 First Avenue  
North Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS @ SIMILAR AND TYPICAL CONDITIONS

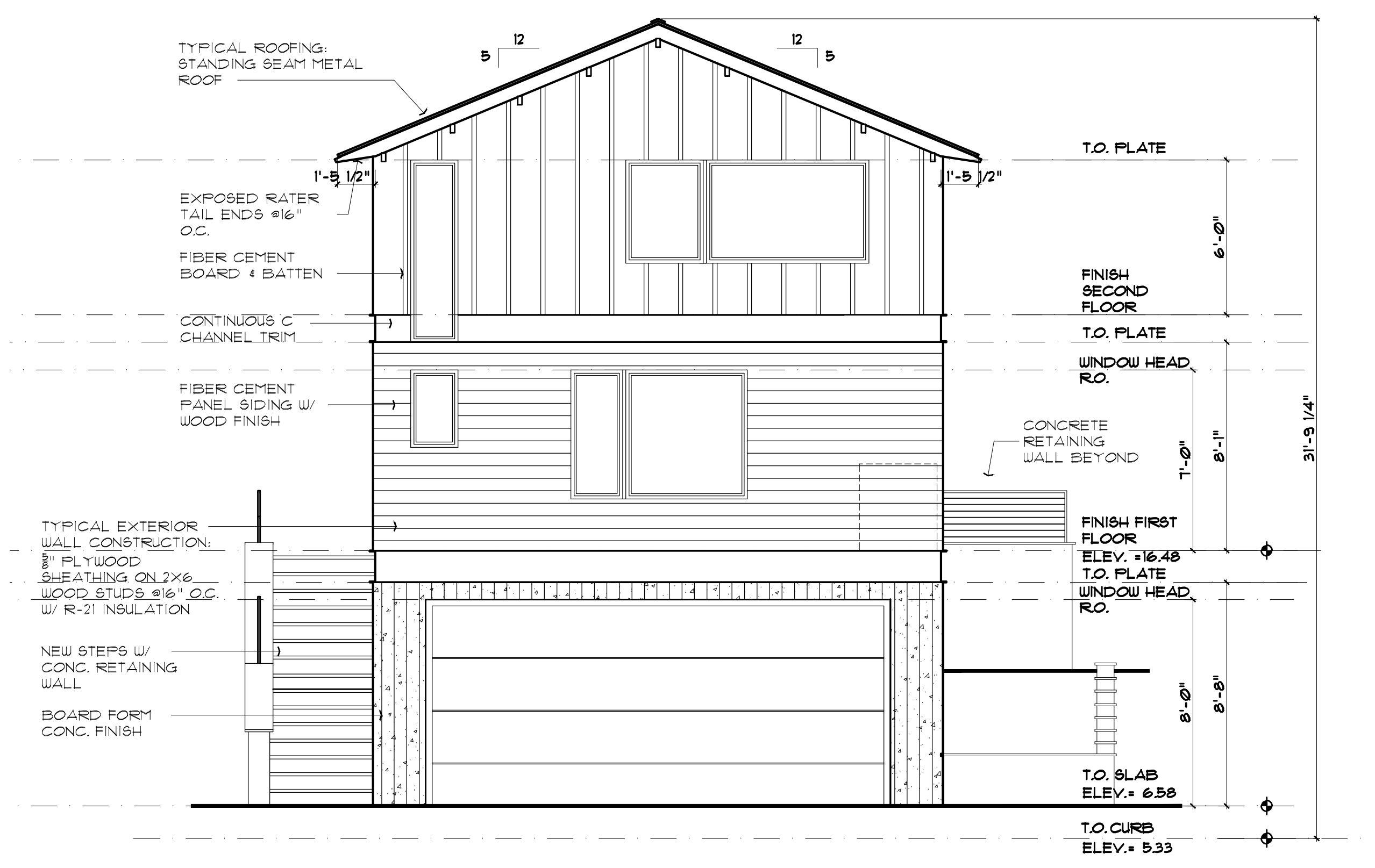


3  
6  
336 First Avenue  
East Elevation  
SCALE: 1/4" = 1'-0"

NOTE:  
SEE WEST ELEVATION DRAWING FOR NOTATIONS & DIMENSIONS @ SIMILAR AND TYPICAL CONDITIONS



2  
6  
336 First Avenue  
South Elevation  
SCALE: 1/4" = 1'-0"



1  
6  
336 First Avenue  
West Elevation  
SCALE: 1/4" = 1'-0"

September 13, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1710  
Variance – Haskell  
Block 187, Lot 9  
395 Beachfront/394 First Avenue  
R-4 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Plot Plan prepared by Joseph Kociuba, P.E., P.P., of KBA Engineering Services, LLC, dated January 4, 2021
2. Architectural Floorplans and Elevations prepared by Brian Berzinskis, RA, of the Grasso Design Group dated August 10, 2021.

The property is located in the R-4 Single-Family Residential Zone with frontage on First Avenue and the Beachfront. With this application, the applicant proposes to demolish both existing dwellings and construct a two and one half story dwelling on the beachfront, and associated site improvements. This application is deemed complete as of September 13, 2021.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-4 Single Family Residential Zone. The proposed residential use is permitted in the zone.
2. The following bulk ('c') variances are required as part of this application:

*Lot 19*

- a. A maximum building coverage of 35% is permitted, whereas a building coverage of 41.21% is proposed (36.44% exists).

*Beachfront Dwelling (395 Beachfront)*

Re: Boro File No. MSPB-R1710  
Variance – Haskell  
Block 187, Lot 9

September 13, 2021  
Sheet 2

- b. A minimum front yard setback of 15 feet is required to the Beachfront, whereas a setback of 5.34 feet is proposed to the deck (15 feet to the dwelling).
  - c. Mechanical equipment is not permitted in the side yard, whereas the proposed air conditioning units are to be located in the northerly side yard setback approximately 1 foot.
3. The base flood elevation for the property is 14 (Zone VE). The finish first floor of the dwelling is proposed at elevation 17.0.
  4. The proposed elevation of the air conditioning units and generator should be indicated on the plans.
  5. It appears that the required 80 square feet of storage space is proposed on the garage floor level.
  6. Two conforming parking spaces are provided within the First Avenue garage.
  7. A dedicated walkway to the beachfront is proposed as required.
  8. The required two parking spaces are proposed in the garage and additional parking space is available in the driveway.
  9. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the property is located within the R-4 beachfront zone.
  10. Construction details for the proposed retaining walls, concrete apron, and pavers should be provided on the plans.
  11. A landscaping plan for the property must be provided. No trees will be removed as part of this application.
  12. Any new utilities should be located underground if possible.
  13. Any curb and sidewalk must be replaced along First Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN



Re: Boro File No. MSPB-R1710  
Variance – Haskell  
Block 187, Lot 9

September 13, 2021  
Sheet 3

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Michael Henderson, esq.  
52 Abe Voorhees Drive, Manasquan, NJ 08736  
Joseph Kociuba, PE, PP  
KBA Engineering Services, 2517 Route 35, Bldg E, Suite 203, Manasquan, NJ 08736  
Brian Berzinskis, AIA  
Grasso Design Group, 231 Highway 71, Manasquan, NJ 08736  
Michael Haskell  
113 Monroe Street, Unit 3, Hoboken, NJ 07030



BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1987

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

732-223-0544  
Fax 732-223-1300

FRANK F. DROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

APPLICATION TO THE PLANNING BOARD

\*Applicant's Name: Michael Haskell

\*Applicant's Address: 113 Monroe Street Unit 3 Hoboken NJ 07030

\*Telephone Number: Home: \_\_\_\_\_ Cell: 609-781-3969

\*e-mail Address: michael@hendersonlawfirmnj.com ; haskll@yahoo.com

\*Property Location: 394 First Ave/ 395 Beachfront

\*Block: 187 Lot: 9

\*Type of Application: Bulk Variance  
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-  
Site Plan Approval

\*Date of Zoning Officer's Denial Letter: August 16, 2021

Attach Zoning Permit Application

\*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

\*Is the Applicant the Landowner? Yes

\*Does the Applicant own any adjoining land? No

\*Are the property taxes paid to date? Yes

\*Have there been any previous applications to the Planning Board concerning this property? No  
(Attach copy)

\*\*Are there any Deed Restrictions, Easements, or Covenants affecting this  
property? Applicant will provide upon receipt.  
(Attach copy)

\*The applicant agrees to be responsible for and pay for the costs entailed in the review of this  
application by any experts retained by the Planning Board for advice in this matter.

[Signature]  
Signature of Applicant or Agent

8/31/21  
Date

06/2021

CONSTRUCTION DEPARTMENT  
**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

FRANK F. DiROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

August 16, 2021

Keith Henderson, Esq.  
52 Abe Voorhees Drive  
PO Box 260  
Manasquan, NJ 08736

Re: Block: 187 Lot: 9 Zone: R-4 Flood Zone: VE BFE: 14ft. DFE: 15ft.  
Haskell – 395 Beachfront – 394 First Avenue

Dear Sir:

On this date we reviewed your revised application for the following project.

Remove all of the existing buildings and structures on the property and construct a new 2 ½ story single family dwelling fronting on the beachfront.

Survey prepared by Robert Burdick on September 9, 2020. Plot plan prepared by Joseph Kociuba on January 14, 2021. Revised conceptual plans prepared by Brian Berzinskis on August 10, 2021.

**Application denied for the following reason(s):**

Section 35-9.4 – Front Setback – 15ft. Required  
15ft. Proposed to house  
5.5ft. Proposed to front deck

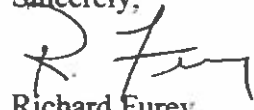
“ - Building Coverage – 35% Permitted  
41.2% Proposed

Section 35-11.8 c – Prohibits locating any mechanical equipment (a/c & generator) in the required 5ft. side setback area.

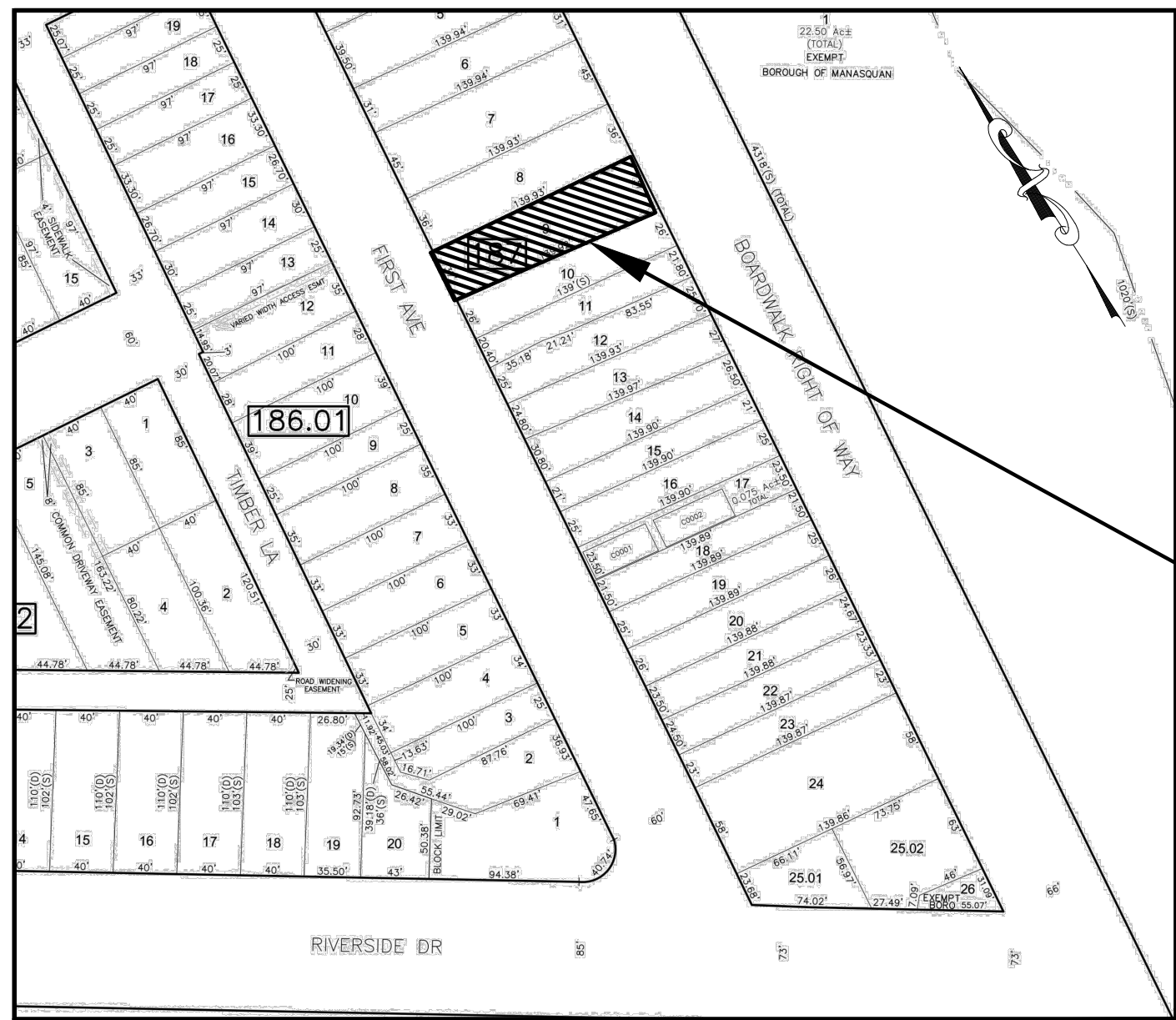
Section 35-11.8k – Requires that a patio must be located a minimum of 5ft. from the side and rear property lines.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Furey', written over the printed name.

Richard Furey  
Zoning/Code Enforcement Officer



PROJECT LOCATION

TAX MAP  
SCALE 1" = 100'

GENERAL NOTES

PROPERTY ID KNOWN AS BLOCK 187, LOT 9 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.  
PROPERTY IS LOCATED IN THE R-4 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.1188± ACRES (5,177.73 S.F.)  
APPLICANT: MICHAEL HASKELL  
113 MONROE STREET UNIT 3  
HOBOKEN, NJ 07030

APPLICANT PROPOSES TO CONSTRUCT A 2 1/2 STORY DWELLING W/ ATTACHED GARAGE.

DESCRIPTION	ZONE R-4		PROPOSED
	REQUIRED/PERMITTED	EXISTING	
BUILDING USE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
LOT AREA	4,200 S.F.	5,177.73 S.F.	5,177.73 S.F.
MIN. LOT FRONTAGE	30 FT.	37.0 FT.	37.0 FT.
FRONT YARD SETBACK (STREET FRONT)	15 FT. 1	N/A	44.60 FT.
SIDE YARD SETBACK	5/10 FT. (ONE/BOTH)	* 0.7 / 4.00 FT.	5.16/10.33 FT.
REAR YARD SETBACK (BEACH FRONT)	15 FT. 1 & 2	33.3 FT.	15.33 FT.
PRINCIPAL BUILDING COVERAGE	35 % (2,363.9 SF)	* 36.44 % (1,887 SF)	** 41.21 % (2,134 SF)
MAX. TOTAL IMPERVIOUS	50 % (3,377 SF)	* 77.68 % (4,022 SF)	43.88 % (2,272 SF)
MAX. BLDG. HEIGHT (BEACH FRONT)	38 FT. (2 1/2 STY) 4, 5, & 6	< 38 FT.	38.00 FT. (ARCHS)
MAX. BLDG. HEIGHT (STREET FRONT)	32 FT. (2 STY) 4 & 5	< 32 FT.	32.00 FT. (ARCHS)
MAX. CURB CUT WIDTH	20 FT.	* 37.0 FT.	17.30 FT.
MAX. HVAC SETBACK	5 FT.	10.9 FT.	** 1.0 FT.

\* - INDICATES EXISTING NON-CONFORMITY  
\*\* - INDICATES VARIANCE REQUIRED

CODE NOTES

- AGGREGATE DEPTH OF FRONT AND REAR YARDS SHALL NOT BE LESS THAN 30 FEET AND NO YARD SHALL BE LESS THAN 10 FEET. A MINIMUM SETBACK OF 15 FEET SHALL BE REQUIRED FROM THE MONUMENTED BOROUGH BEACHFRONT LINE.
- FOR ACCESSORY STRUCTURES AND USES, A 5 FOOT SETBACK IS PERMITTED UNLESS MORE RESTRICTIVE REGULATIONS ARE ESTABLISHED ELSEWHERE IN THIS ORDINANCE.
- FRONT YARD SETBACK DISTANCE MAY BE REDUCED TO THE AVERAGE OF FRONT YARD SETBACKS OF PRINCIPAL STRUCTURES ON ALL DEVELOPED PROPERTIES ON THE SAME SIDE OF THE STREET WITHIN 200 FEET OF THE PROPERTY AS DOCUMENTED BY A MAP PREPARED BY A LICENSED LAND SURVEYOR.
- PERMITTED HEIGHT FOR CONFORMING LOTS ONLY. FOR NONCONFORMING LOTS THE HEIGHT SHALL BE DETERMINED ONLY AFTER PLANNING BOARD REVIEW TO ASSURE COMPLIANCE WITH THE INTENT AND PURPOSE OF THE ZONING LAW EXPRESSED IN SECTION 107-1A.

- THE BUILDING HEIGHT AND BUILDING ENVELOPE FOR INDIVIDUAL DWELLING UNITS, EITHER ATTACHED OR DETACHED, SHALL COMPLY WITH FOOTNOTE (F) OF THIS SCHEDULE I.
- PER 35-11.1 (h) THE MAXIMUM HEIGHT FOR SINGLE FAMILY DWELLINGS FACING THE BEACHFRONT SHALL BE THIRTY EIGHT (38) FEET FOR CONFORMING LOTS AND THIRTY-THREE (33) FEET FOR NON-CONFORMING LOTS.

PLAN NOTES

- EXISTING PUBLIC SEWER & WATER LATERAL SERVICES TO REMAIN AND BE REUTILIZED.
- ELEVATIONS BASED ON 1988 N.A.V.D.
- PROPERTY IS LOCATED IN ZONE 'VE' - ELEV. 14.0 PER FEMA PRELIMINARY FIRM MAPS.
- BUILDING HEIGHT MEASURED FROM TOP OF CURB AT STREET (7.1) & BOARDWALK (13.15) TO ROOF PEAK.

BUILDING INFORMATION TAKEN FROM ARCHITECTURAL PLANS PREPARED BY GRASSO DESIGN GROUP DATED 12/18/2020.

BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY R.C. BURDICK, P.E., P.P., P.C. DATED 9/10/2020.

EXIST. BUILDING COVERAGE	
EXIST. DETACHED GARAGE	899 S.F.
EXIST. DWELLING	714 S.F.
EXIST. SHED	32 S.F.
EXIST. ENCLOSED PORCH	242 S.F.
<b>EXIST. TOTAL BUILDING COVERAGE</b>	<b>1,887 S.F. 36.44%</b>
TOTAL LOT AREA	5,177.73

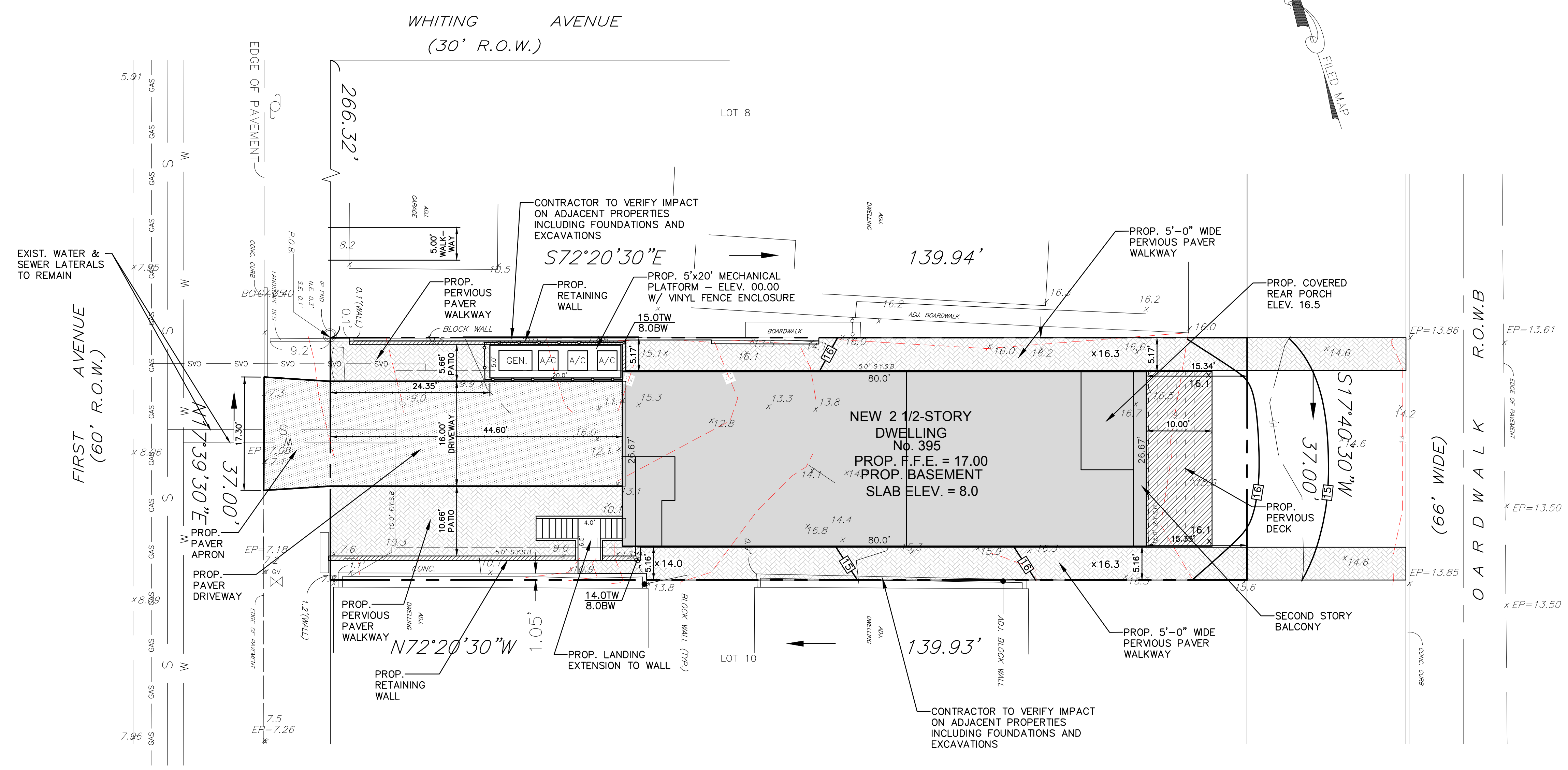
EXIST. IMPERVIOUS COVERAGE	
EXIST. BUILDING COVERAGE	1,887 S.F.
EXIST. DETACHED GARAGE PLATFORM & STEPS	34 S.F.
EXIST. A/C PLATFORM	13 S.F.
EXIST. DETACHED GARAGE OUTDOOR SHOWER	16 S.F.
EXIST. DWELLING OUTDOOR SHOWER	41 S.F.
EXIST. DWELLING STEPS	7 S.F.
EXIST. DWELLING CONC. PATIO	242 S.F.
EXIST. CONC. WALKWAYS & PATIO	1,782 S.F.
<b>EXIST. TOTAL IMPERVIOUS COVERAGE</b>	<b>4,022 S.F. 77.68%</b>
TOTAL LOT AREA	5,177.73

PROP. BUILDING COVERAGE	
PROP. DWELLING/GARAGE/COVERED PORCHES	2,134 S.F.
<b>PROP. TOTAL BUILDING COVERAGE</b>	<b>2,134 S.F. 41.21%</b>
TOTAL LOT AREA	5,177.73

PROP. IMPERVIOUS COVERAGE	
PROP. BUILDING COVERAGE	2,134 S.F.
PROP. PAVER DRIVEWAY (EXEMPTED)	0 S.F.
PROP. FRONT PAVER PATIOS (EXEMPTED)	0 S.F.
PROP. REAR SLATTED DECK/WALKWAY (EXEMPTED)	0 S.F.
PROP. MECHANICAL PLATFORM	100 S.F.
PROP. DWELLING STEPS	38 S.F.
<b>PROP. TOTAL IMPERVIOUS COVERAGE</b>	<b>2,272 S.F. 43.88%</b>
TOTAL LOT AREA	5,177.73

PROP. GARAGE BUILDING HEIGHT  
TOP OF CURB (FIRST AVE.) = 7.1  
PROP. ROOF PEAK = 39.1 FT.  
PROP. BUILDING HEIGHT = 39.1 FT - 7.1 FT. = **32.00 FT. FROM T.O.C (ARCHS)**

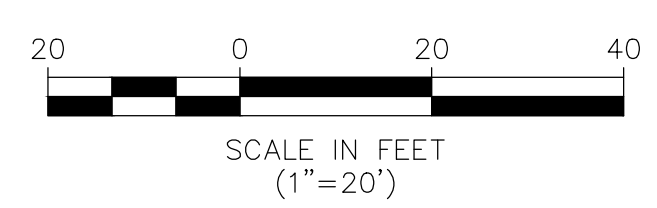
PROP. PRINCIPAL BUILDING HEIGHT  
TOP OF CURB (BOARDWALK) = 13.50  
PROP. ROOF PEAK = 51.5 FT.  
PROP. BUILDING HEIGHT = 51.5 FT - 13.50 FT. = **38.00 FT. FROM T.O.C (ARCHS)**



PROP. GARAGE BUILDING HEIGHT  
TOP OF CURB (FIRST AVE.) = 7.1  
PROP. ROOF PEAK = 39.1 FT.  
PROP. BUILDING HEIGHT = 39.1 FT - 7.1 FT. = **32.00 FT. FROM T.O.C (ARCHS)**

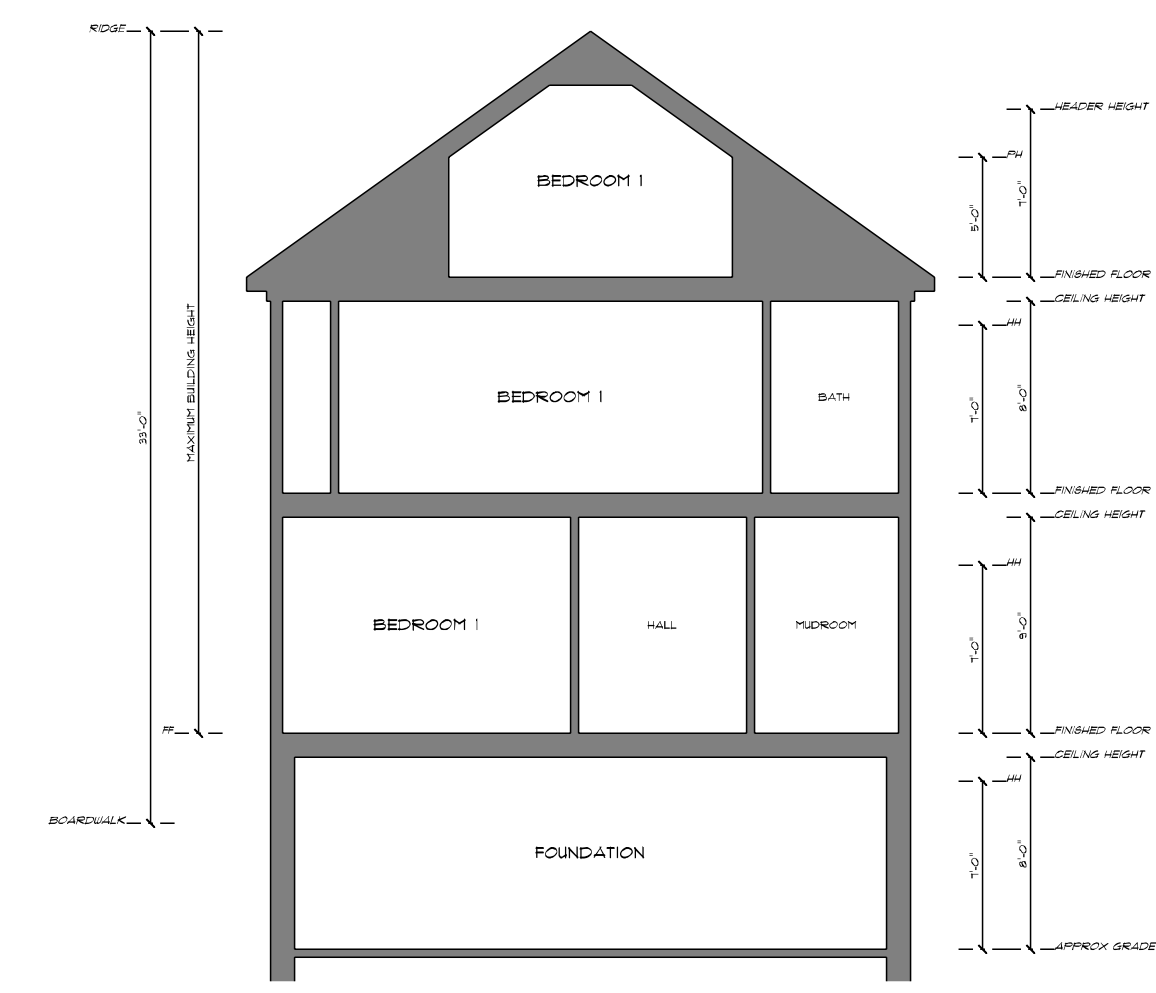
PROP. PRINCIPAL BUILDING HEIGHT  
TOP OF CURB (BOARDWALK) = 13.50  
PROP. ROOF PEAK = 51.5 FT.  
PROP. BUILDING HEIGHT = 51.5 FT - 13.50 FT. = **38.00 FT. FROM T.O.C (ARCHS)**

REV. NO.	DATE	DESCRIPTION
<b>PLOT PLAN</b>		
<b>394 FIRST - 395 BEACHFRONT BLOCK 187 - LOT 9 FOR MICHAEL HASKELL</b>		
<b>BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY</b>		
		2517 Route 36, Bldg E, Ste 203 Manasquan, NJ 08736 P: (732)722.8555   F: (732)722.8557 KBAengineers.com Plans@KBAengineers.com Certificate of Authority No. 24CA0220200
DRN GEA	CHK JKJ	PROJECT NO. 2020-467
SCALE AS SHOWN		DATE 1/14/2021
JOSEPH J. KOCIUBA, P.E., P.P. P.E. License No.: GE45850		SHEET 1 OF 1

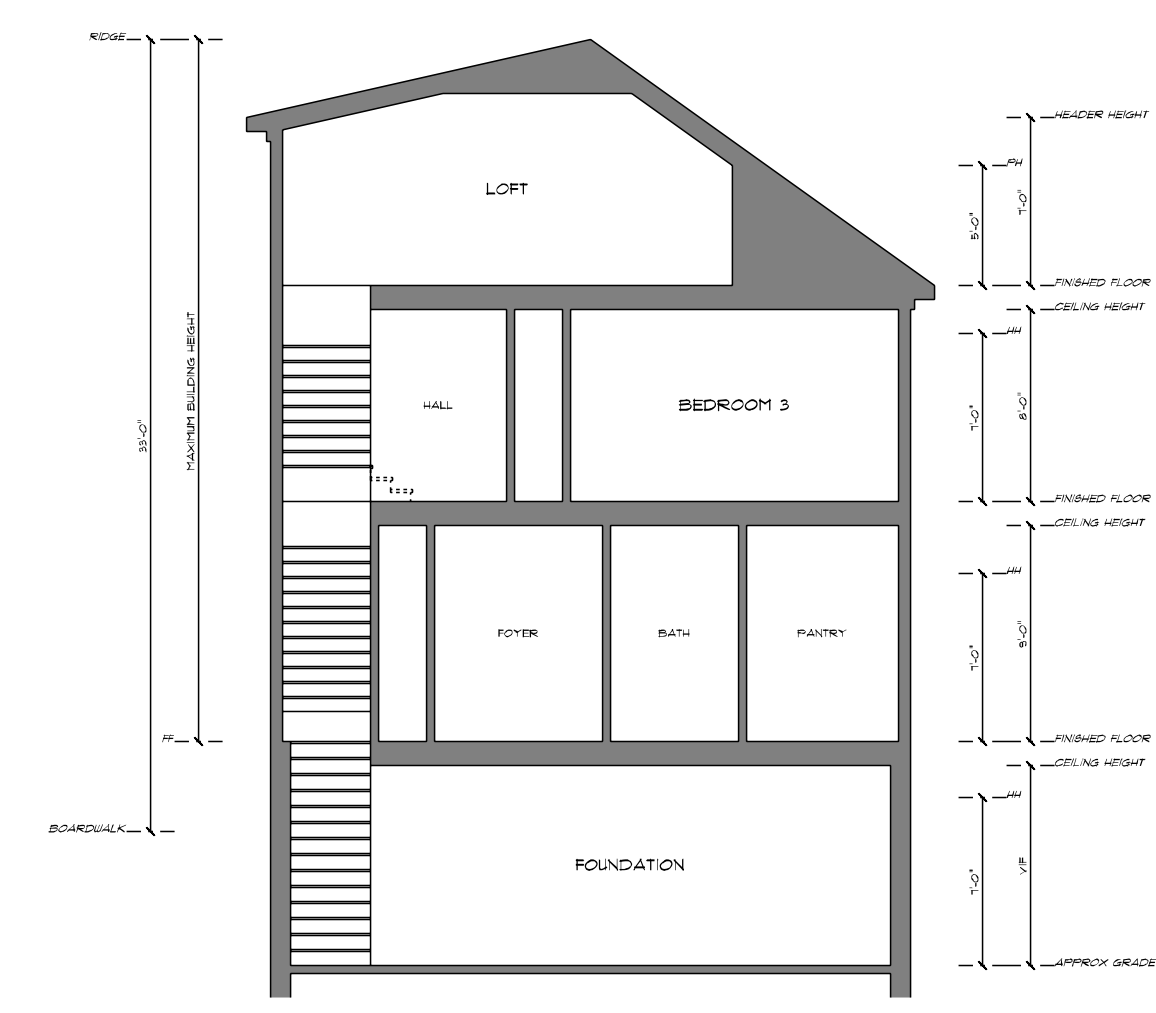




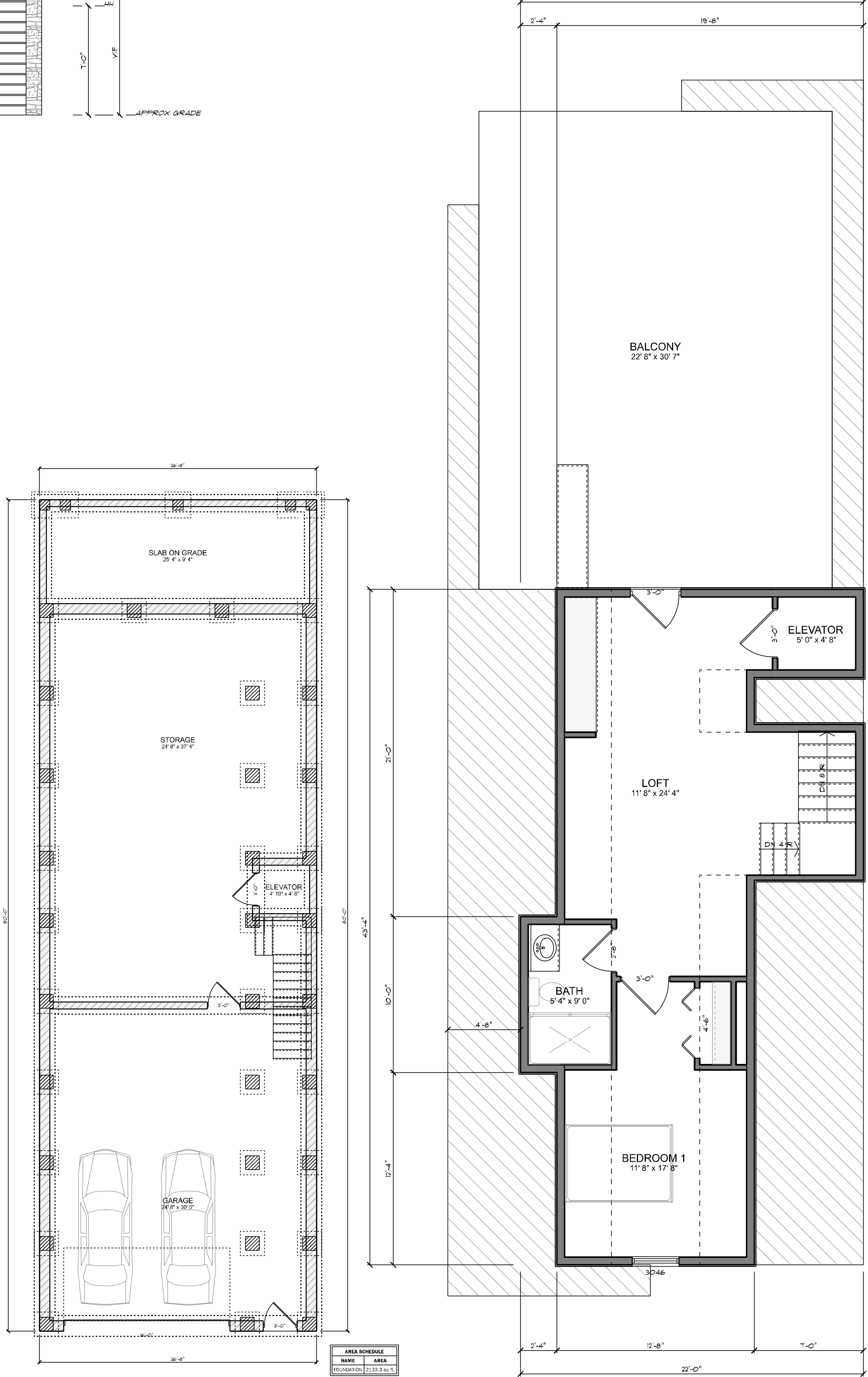
**ELEVATION**  
SCALE: 3/16" = 1'-0"



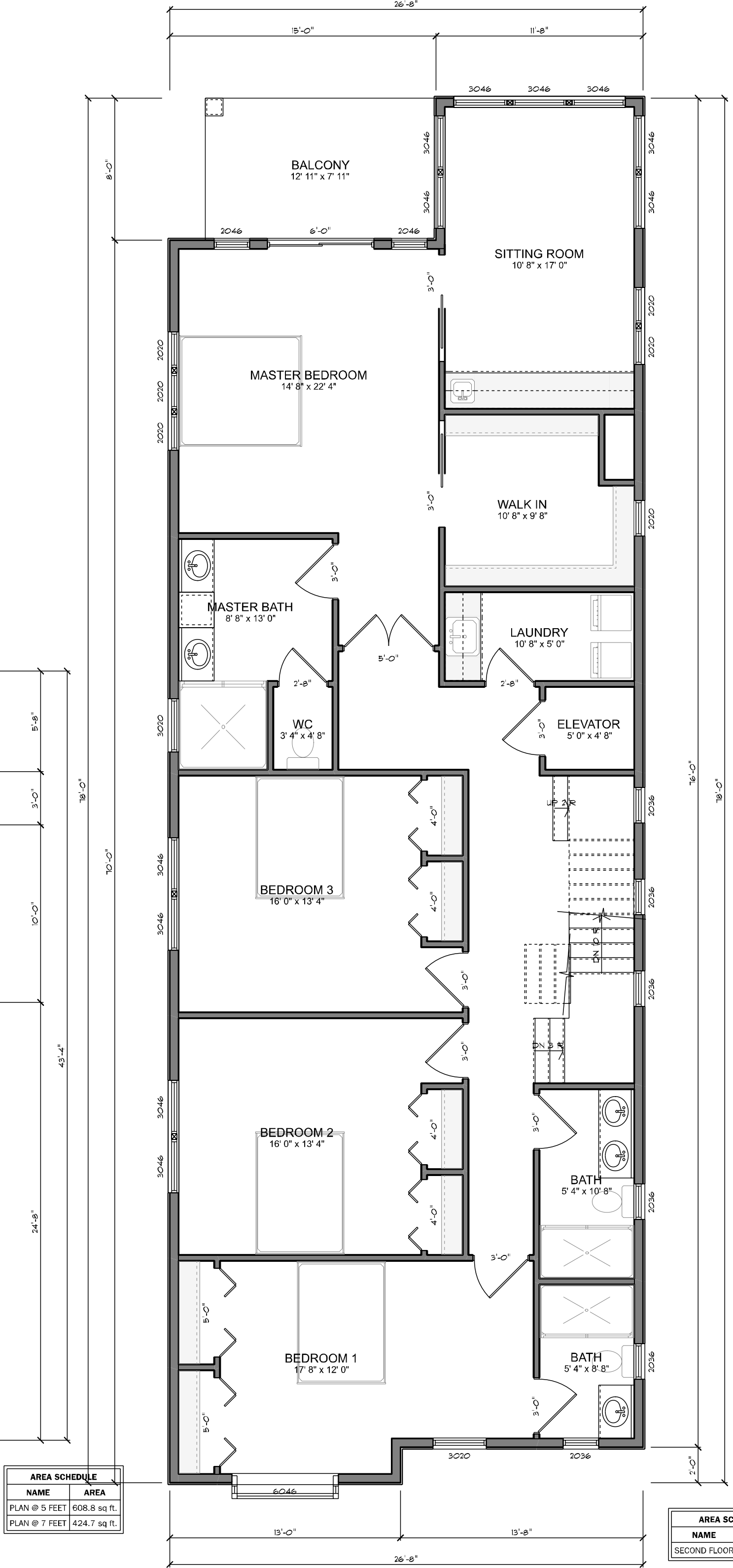
**CROSS SECTION A**  
SCALE: 1/8" = 1'-0"



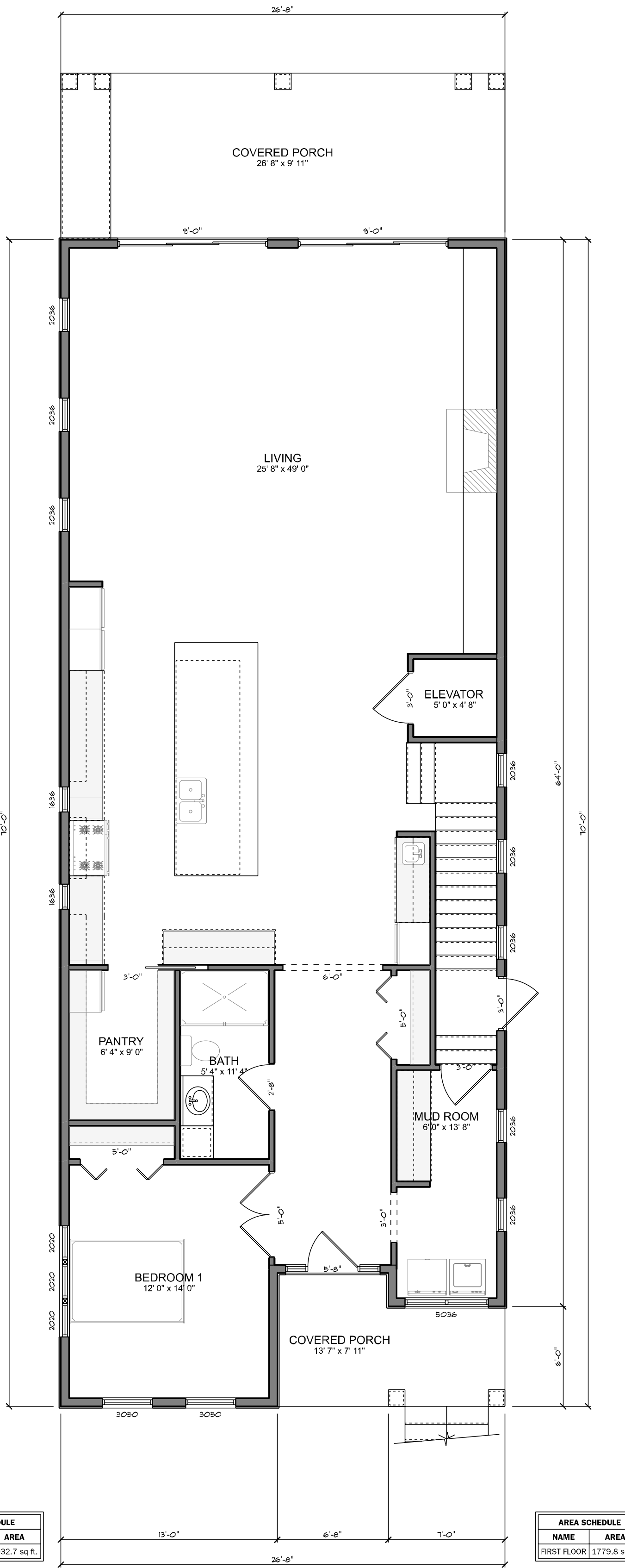
**CROSS SECTION B**  
SCALE: 1/8" = 1'-0"



**PROPOSED FOUNDATION** SCALE: 1/8" = 1'-0"  
**PROPOSED ATTIC** SCALE: 3/16" = 1'-0"



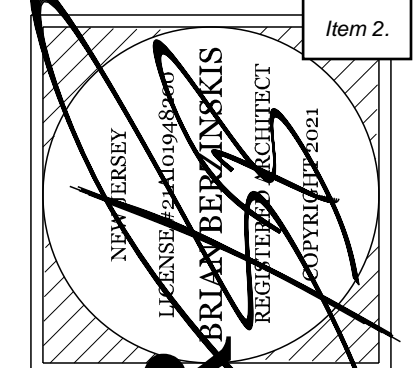
**PROPOSED SECOND FLOOR**  
SCALE: 3/16" = 1'-0"



**PROPOSED FIRST FLOOR**  
SCALE: 3/16" = 1'-0"

AREA SCHEDULE	
NAME	AREA
PLAN @ 5 FEET	608.8 sq ft.
PLAN @ 7 FEET	424.7 sq ft.

AREA SCHEDULE	
NAME	AREA
SECOND FLOOR	1532.7 sq ft.
FIRST FLOOR	1779.8 sq ft.



PROJECT FOR: HASKELL Residence  
**394 FIRST AVE-395 BEACHFR**  
Project Number: MANASQUAN  
CN#020-09-029  
Block: 187  
Lot: 9  
New Jersey

DATE	BY
8/10/2021	BB

**Grasso Design Group**  
design@grassodg.com  
http://www.grassodg.com  
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Manasquan  
New Jersey  
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